

Wallington Neighbourhood Plan 2022-2031



Referendum Version Neighbourhood Plan

January 2024

Presented by:

Rushden and Wallington Parish Council

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1 ABOUT WALLINGTON

- 1.1. Wallington is a small Hertfordshire village located approximately three miles to the east of Baldock and roughly equidistant from Stevenage to the south-west and Royston to the north-east. It shares a Parish Council with neighbouring village, Rushden, but remains a separate Parish with a unique character.
- 1.2. First recorded in the Domesday Book as 'Wallington', the village's wooded and sheltered surroundings have made it an ideal location for settlement since records began. The freshwater spring which still flows at the top of The Street, surrounded by a circular wall in Victorian times, has provided water to residents since the Bronze Age and there are several Roman sites nearby. The settlement evolved from a predominantly agricultural base and, at the time of the Domesday Survey, the land was divided into two manors. Evidence of manorial strip farming remains in the surrounding fields which continue to be worked by local farms today.
- 1.3. The 2011 Census recorded that the parish is home to approximately 150 residents living in 54 dwellings (the 1901 census population was 152 down from 274 in 1841). There is a village hall and playground, a church, and a small triangular village green with a well, and two further pond areas, one adjacent to the Street and the other (Carter or Parson's Pond) to the west of the Church. These shared spaces host a lively community scene, with a variety of activities and events taking place across the calendar. The village is well loved by its residents, most of whom are long-standing and many of whom participate actively in village events. Both homeowners and renters remain in the village longer than national averages.
- 1.4. It sits within some of the highest quality countryside in north Hertfordshire, comprising two landscape character areas: the Wallington Scarp slopes; and the Weston–Green End Plateau. Much of the parish is characterised by chalky boulder clay woodlands and meadows, which provide an important habitat for a wide range of species including the skylark, linnet and spotted flycatcher. The north-western part of the parish is characterised by shallow lime-rich soils over chalk and limestone. There is a distinct change in the landscape and to a large extent the countryside as a result of the change in soil type from the lime-rich loamy/clayey soils with impeded drainage to the shallow free draining very chalky soil.
- 1.5. The village is shielded against coalescence with Baldock by the Green Belt to the west and retains an unusually green and open character due to the low density of housing, and the number of green spaces within and around its borders. The Icknield Way Path passes through the village on its 110-mile journey from Ivinghoe Beacon in Buckinghamshire to Knettishall Heath in Suffolk. Local footpaths and bridleways retain an unusually quiet and peaceful nature and are greatly enjoyed by a large number of village residents and local neighbours alike.
- 1.6. The village retains a rich and varied tapestry of historic buildings and architecture: Historic England records 18 listed buildings in the neighbourhood plan area, plus the phone box. Its

church, the Church of St Mary, is a Grade II* listed building lying at the southern end of the village, built of local clunch and limestone. The earliest mention of the church is 1190 but the current building is largely of 14th- and 15th-century origin. Village residents include campanologists for the tower's six bells, five of which date from 1794, and organists. The village hall remains an active and lively focal point for village events throughout the year, with an attractive garden and playground area. The village boasts a wide range of architectural styles reflecting the changing composition of its residents through the ages.

1.7. The village has a place in the history of English literature as the author George Orwell (Eric Blair) lived in a small cottage at No. 2 Kits Lane, then known as The Stores, from 1936 to 1940. Although renting the cottage until 1946, his visits after 1940 were sporadic. Orwell believed that running the village shop allied to the publisher's advance he had received for *The Road to Wigan Pier* would provide a financial basis to enable him to get married. He duly did so, marrying his first wife, Eileen O'Shaughnessy, at the village church of St Mary in June 1936. A number of his well-known essays and novels were written in the village including *The Road to Wigan Pier*, *Homage to Catalonia*, and *Coming Up For Air*. The village is seen by many as a major influence on the setting for *Animal Farm* given that it possesses a Great Barn, and a Manor Farm, and the book having a named setting of 'Willingdon': similarly the rural section in his novel *1984* is very similar in depiction to Wallington and its surrounds.

1.8. Further information about the village can be found on the Parish Council website: <https://rushdenandwallingtonpc.co.uk>.



Images show The Great Barn and the village centre

2 ABOUT THIS NEIGHBOURHOOD PLAN

- 2.1 This document is the Wallington Neighbourhood Plan (WNP) and relates to Wallington village and its rural surrounds, as shown in Figure 2.1. Rushden village, although within the parish boundary, is not included in the neighbourhood plan area.
- 2.2 North Hertfordshire District Council (NHDC), as the local planning authority, [designated the neighbourhood area on 22 April 2020](#). Once 'made' (adopted), the WNP will form one part of the development plan for this part of the parish over the period 2022 to 2031, the other part being the North Hertfordshire Local Plan 2011 to 2031 (adopted November 2022).
- 2.3 The WNP has been prepared in accordance with the Town & Country Planning Act 1990, the Planning & Compulsory Purchase Act 2004, the Localism Act 2011 and the Neighbourhood Planning (General) Regulations 2012 (as amended).
- 2.4 The WNP provides guidance to any interested parties wishing to submit planning applications for development within the neighbourhood area. The process of producing the Plan has involved the community as widely as possible. The Neighbourhood Plan Working Group has comprised up to 12 volunteers at any one time, representing almost 8% of the population of the village. In consultation with the wider community, they have put together a vision for the future of the neighbourhood area and set out how that vision will be realised through planning land use and development change over the plan period.
- 2.5 Each section of the WNP covers a different topic. Under each heading there is a justification for the policy presented, which provides the necessary understanding about what it is seeking to achieve. The policies themselves are presented in the **green** boxes. It is these policies against which planning applications will be assessed. It is advisable therefore, that to understand the full context for any individual policy, it is read in conjunction with the supporting text and evidence documents that have been compiled to underpin the WNP.
- 2.6 In addition to the policies, the Plan identifies local needs and community aspirations that whilst not met through the planning system, are important to the well-being of the community. It is proposed that these projects will be met through community action supported by a range of organisations. The WNP also sets out the Community Infrastructure Priorities and a framework for monitoring and implementation.

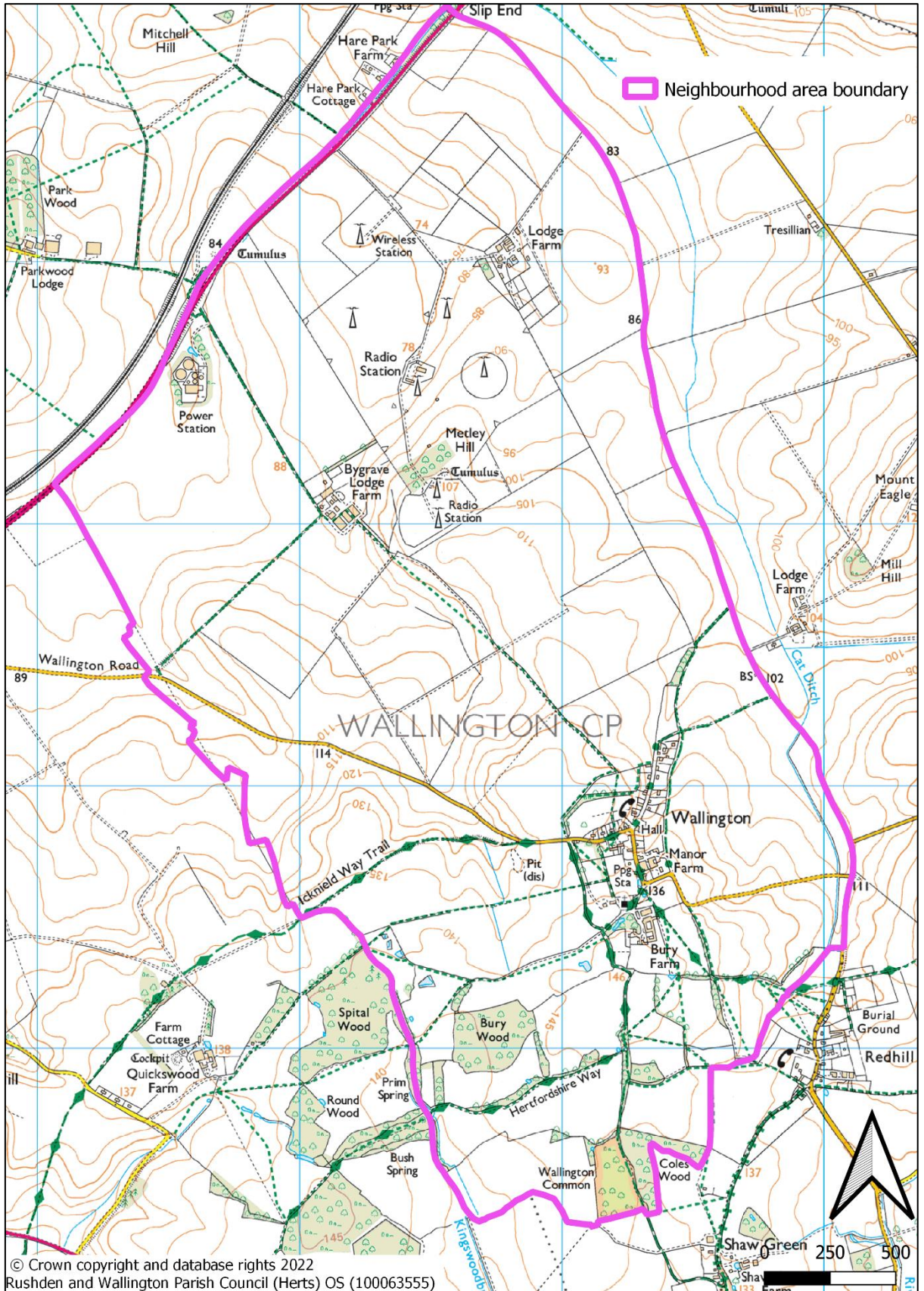


Figure 2.1: Wallington Neighbourhood Plan designated area

The Planning Policy Context

National Planning Policy

- 2.7 The WNP has been prepared in accordance with the NPPF (most recently revised in July 2021). Paragraphs 29 and 30 state:

“Neighbourhood planning gives communities the power to develop a shared vision for their area. Neighbourhood plans can shape, direct and help to deliver sustainable development, by influencing local planning decisions as part of the statutory development plan. Neighbourhood plans should not promote less development than set out in the strategic policies for the area, or undermine those strategic policies. (Neighbourhood plans must be in general conformity with the strategic policies contained in any development plan that covers their area).

Once a neighbourhood plan has been brought into force, the policies it contains take precedence over existing non-strategic policies in a local plan covering the neighbourhood area, where they are in conflict; unless they are superseded by strategic or non-strategic policies that are adopted subsequently”.

Local Planning Policy

- 2.8 The WNP must be in general conformity with the strategic policies (which are denoted as ‘SP’ in the Local Plan) of the adopted development plan, which comprises:

- North Hertfordshire Local Plan 2011 to 2031 (adopted November 2022)
- [The Waste Site Allocations Development Plan Document 2011-2026](#) (adopted July 2014)
- [The Waste Core Strategy & Development Management Policies Development Plan Document 2011-2026](#) (adopted November 2012)
- [The Minerals Local Plan 2002-2016](#) (adopted March 2007)
- Made Neighbourhood Plans in the District

- 2.9 The adopted documents are also supported by the following Supplementary Planning Documents:

- The Employment Land Areas of Search Supplementary Planning Document (adopted November 2015)
- The Minerals Consultation Areas Supplementary Planning Document (adopted November 2007)

- 2.10 Policy SP2 (Settlement Hierarchy and Spatial Distribution) of the Local Plan seeks to deliver at least 13,000 net new homes across the District over the period 2011 to 2031. Approximately 80% of housing delivery is proposed to be focussed to the larger settlements, 13% to villages identified for growth, and the remainder to smaller villages (including Wallington).

2.11 Wallington is classified as a Category B village in the Local Plan, where limited infilling development, which does not extend the built core of the village, will be supported. This is a new categorisation for Wallington and the implications of this on housing development in the village are not yet known. A [statement by NHDC](#) about how the smaller villages have been categorised was prepared for the Local Plan examination. It is one of the reasons why this neighbourhood plan is essential at this time. There are no sites allocated in the emerging local plan for Wallington. Two new homes have been built or granted planning permission since 2011.

Community engagement

2.12 The WNP Working Group has developed the Plan through extensive engagement with the community. Discussions with NHDC have taken place on each of the topic areas covered by the Plan. In addition, communication with the neighbouring ward has taken place as some of the policies could impact on these areas.

2.13 A Consultation Statement was presented alongside the Submission Version Neighbourhood Plan document, with the main activities summarised in Table 2.1.

Table 2.1: Summary of engagement activity

Date	Milestone	Key activities
2020	Parish Council decides to undertake a neighbourhood plan Develop draft vision and objectives Community engagement to gather feedback on vision and objectives and evidence on each topic	<ul style="list-style-type: none"> • Neighbourhood Area designated • Neighbourhood Plan Working Group formed • Working Group formed, with meetings planned every 4-6 weeks • Provisional topic areas considered and draft vision and objectives developed • Local exhibition to launch the plan • Postcard delivered to all households to gain views on the future of Wallington
2020 to 2021	Developing robust evidence base on the topics Further local consultation	<ul style="list-style-type: none"> • Commission Local Housing Needs Assessment to understand the type of housing needed locally • Commission Design Codes work to provide assessment of local character • Devise and undertake Local Housing Needs Survey to understand the wish for type of housing locally • First of several planned village walks to see environment first hand • Local housing and Green spaces surveys • Face-to-face meetings with local groups and interested parties where necessary • Various updates provided via Village newsletters, social media etc. • Initial drafting of plan and policies

3 VISION AND OBJECTIVES

Considerations for Wallington

- 3.1 Appendix A provides a profile of the parish with data drawn from the 2011 census and, where possible, the 2021 census.
- 3.2 In 2021 Wallington village residents were invited to take part in a Local Green Spaces and Conservation Study, and a Local Housing Survey. The Survey sought to identify what, in the view of the village's residents, were its most valued features and any opportunities for improvement and was seen as an important component of the neighbourhood plan's evolution. The Housing Survey was limited to one response per household and had 26 respondents, which represents 54% of households within the plan area. The survey design asked residents to give quantifiable answers regarding the suitability, or necessity, of each housing option, whilst deliberately not compelling them to make an alternative choice between options. Quantification and conclusions should be viewed with this in mind. This approach was designed to provide respondents with more options and flexibility, encouraging inclusivity and engagement. The key points from the Survey provide an excellent base to introduce the Neighbourhood Plan Vision and Objectives:

Surroundings and tranquillity

- 3.3 In the opinion of Survey respondents, the most valued features of the village are its rural setting followed jointly by the peace and quiet and rural walks, footpaths and bridleways. These three features were highlighted as very important to the character of the village by 96% and 88.6% of respondents respectively.
- 3.4 The village retains an unusually green and open character due to its small scale, low density of housing and open views to surrounding countryside. This proportion of green spaces within the village was considered important by 96% of survey respondents. Local walks, footpaths and bridleways are also highly valued but remain quiet and uncongested, supporting a wide variety of flora and fauna. The low levels of traffic and lack of street lighting were cited by many as worth safeguarding.
- 3.5 Most of the village has designated Conservation status and additionally several significant spaces within it are designated as Significant Green Spaces within the Conservation Area Statement. Such designations are a fundamental in protecting the tranquillity of the village overall.

New housing

- 3.6 The Housing Survey asked residents about the nature of any new development over the coming fifteen years which they felt would be reasonable. The responses are summarised below.
- 3.7 **Number:** The Survey asked how many new houses respondents felt would be reasonable. 50% of respondents felt that between 6 and 10 new dwellings would be reasonable and 31% responded that 5 houses or less would be reasonable. The majority of respondents (81%) feel that the number of new properties should not exceed 10. This equates to an increase of 16% of the current housing stock of Wallington.

- 3.8 **Location:** The Survey also asked where any development should be located. On this point there was a strong consensus with 80% of respondents believing that the conversion or replacement of existing buildings such as redundant farm buildings within the village was potentially suitable. A substantial portion of the land within the village is occupied by redundant farm buildings (Manor and Bury Farmyards) which, if developed, would provide more than enough space for up to ten new properties which is commensurate with the number identified in the survey.
- 3.9 **Type:** One of the key issues for respondents to the Survey was the shortage of more affordable and smaller homes within the village. Smaller homes are popular amongst people wishing to downsize as well as those looking to move in with a starter home. 58% of respondents felt that the village should prioritise more affordable housing. There was commensurate support for smaller houses of one, two or three bedrooms (69% support for 2 bedrooms, 46% for one-bedroom and 81% for three-bedroom houses). In terms of housing type, the response was more mixed with support for semi-detached (87.5%), terraced cottage (67%) and detached houses (62%). A lack of affordable housing and high levels of under-occupancy are not uncommon within rural villages. Wallington has a high proportion of long-term residents. 44% of village households have resided within it for more than thirty years. Although some existing properties have been improved and extended housing supply is very limited with no new residences built this century. Turnover of owner-occupied properties is low with only nine transactions in the last decade. Such factors directly influence house prices which are higher than those of neighbouring higher density residential areas such as Baldock and can be a limiting factor for people looking to move in.
- 3.10 **Tenure:** The central village has two rented social housing homes and a relatively high proportion of privately rented accommodation, accounting for 13 homes in total or 24% of the 54 homes within the built core: 10 of the 13 are rented by the major landowner. Including Bygrave Lodge Farm area, private rentals increase to 16. The Survey identified broad support for either owner occupied (69% of respondents said “definitely suitable”) or rental properties (48% said “definitely suitable”). Private rental could represent an opportunity for lower cost entry into the village.
- 3.11 **Style:** The Survey asked what style any new buildings should be and the preferred options were those which echoed existing local buildings, both traditional local rural styles (77% support).

Residents’ age profile

- 3.12 Many smaller rural villages have an older than average population. Nationally, 30% of residents within areas categorised as “Rural and Dispersed in a sparse setting” are aged 65 and over (Source: Statistical Digest of Rural England, Department of Environment Food and Rural Affairs, 29th October 2021). There are a number of factors which contribute to this nationally including
- a lack of family-friendly facilities like schools, social and leisure facilities and entertainment;
 - a lack of affordable starter homes.
- 3.13 Wallington also has an older than average population and this may be reflected in the support among Survey respondents for bungalows (54% of respondents said “definitely or possibly needed”) and more accessible housing for down-sizing (49% respondents). 40% of respondents expect to downsize over the coming fifteen years and 12% of respondents expect to move to retirement homes in the coming fifteen years.

3.14 There is a strong desire among residents to see more children and families within the village with 61% of respondents prioritising this need. The desire to attract young families to the village may have influenced the view that 3-bedroom houses are the preferred size (81% saying “definitely or possibly needed”), and semi-detached houses the preferred size (87.5% said “definitely or possibly needed”).

3.15 Although there are only two families that have had children in the village, it is encouraging to note that in the period since the 2011 census, four of the nine owner-occupied properties to change hands were sold to families with children. Including property transactions soon to complete and tenants, the village expects to have about fifteen children, representing 19% of the number of households in the village core.

Local services

3.16 68% of Survey respondents believed that improved local services are needed. This was the most common response to the question of what would make Wallington better. There are several points to note here:

- Public transport - the lack of public transport has been an obstacle for elderly and young adult residents. However, the recently launched HertsLynx on-demand bus service may go some way to alleviate this issue should the existing pilot scheme move to a permanent service.
- Drainage - poor drainage of surface water within and around the village after periods of heavy rainfall causes significant concern and disruption on a regular basis. Roads flood, underground pipes and roadside drains block and roadside ditches overflow despite regular cleaning. This impacts domestic drains and sewage systems that suffer similar problems.
- Electricity - mains electricity is supplied to all residential and public buildings. Being at the end of a distribution line the village is more susceptible to power cuts than some other areas. It is the only service provided to the church; in the listings of other services below none of these applies to the church.
- Water - mains water is available to all properties
- Sewage - mains sewage is supplied to most properties. Of the remainder, some chose not to be connected when mains sewage came to the village, others were not offered connection as they were too far from the sewers installed. These properties have septic tanks.
- Gas - there is no mains gas in the village. A few properties have calor gas tanks for central heating, a few have bottled gas for cooking.
- Oil (kerosene) - most properties use kerosene for central heating, held in oil tanks. See discussion below on heating.
- Telephone Fibre - fibre to the premises (fttp) is available for all properties in the village built core although not all may be connected. This can provide both telephone and broadband connectivity. When there is a power cut these services are not available.

- Telephone copper - a few properties still have a copper wire connection to the exchange; this connection still works when there is a power cut. This facility is likely to be withdrawn within the timescale covered by the plan.
- Mobile telephone - the mobile telephone reception in the village is very poor, especially at the north end of the village. Smart phones with wifi calling help to mitigate some of the problems but see the discussion below on mobile signals.

3.17 These issues should be factored into consideration of the feasibility and impact of any development plans.

Road traffic

3.18 New residential or, in particular, commercial developments are likely to bring greater volumes of traffic within the village and this was the number one concern of Survey respondents with respect to road traffic. A further 23% of Survey respondents felt that improvements to car parking are required. Roads within, to and from the village are all single carriageway in part and the only pedestrian pavement is outside one property, The Plough. They are regularly used by heavy farm equipment, although the volume of such has decreased in recent years as a consequence of much farm operations being transferred to Bygrave Lodge Farm, and as a 'short-cut' when the nearby A505 is closed. The main street in the village is a dead end to the North and parked vehicles can block streets off entirely. The speed limit within the village has recently been reduced to 20 miles per hour but traffic volumes, speed and flow clearly remain high priorities for residents. This must be factored into consideration of the feasibility and impact of any development plans.

Local businesses

3.19 In response to the Survey's questioning what kind of business units might be suitable within the village, respondents had a clear preference for Artisan Workshops (77% support). 44% of respondents believed that Rentable Shared Office and Meeting Space might also be suitable.

Sense of community and social events

3.20 Respondents to the Survey demonstrated that the village's Supportive Sense of Community and its Community and Social Events are among its most appreciated features (100% and 88% of respondents respectively said "very or fairly important"). The Village has few facilities for community events but those it does have are highly valued and well used.

3.21 Most events take place at the Village Hall which is rented out for children's parties, coffee mornings, group fitness activities and hobbies. It also hosts a monthly Pub Night in which residents rotate Publican duties. There are regular screenings of film nights and major sporting or social events using the Hall's modern multimedia system. The Hall also has an adjoining garden and playground area that is used for community BBQs in the summer with the playground used by the children and grandchildren of both residents and non-residents alike. Some of these activities were curtailed during Covid-19 related restrictions but have since resumed.

3.22 In the heart of the village is Manor Farmyard, which is acknowledged as a setting for George Orwell's famous work, 'Animal Farm'. Manor Barn plays host to an annual Barn Dance/ Band Night which attracts people from all around.

3.23 To the South is the village Well Pond, a tranquil, historic area, the home of the spring whose water supply created the conditions for early settlers to live in Wallington and which was bordered with a brick enclosure by the Victorians. It offers seating for walkers (and others) to sit enjoy a picnic and the wildlife. Nearby St Mary's Church provides another focal point for walkers and other visitors as well as being a regular place of worship. The Church is home to a George Orwell display and attracts many visitors as the location of Orwell's first wedding. It has an active bell-ringing group, hosts events such as the most recent village fete and coffee mornings and has some interesting historical features such as the original craftsmen's insignia in the stonework. Some villagers are active cricketers, and although there are no suitable facilities in the parish itself, the Sandon Sports Club in the adjacent parish includes the Cricket Club and Pavilion which serves Sandon, Rushden and Wallington.

Vision for the Neighbourhood Plan

3.24 In consultation with the community, the vision for Wallington up to 2031 is:

The purpose of this plan is to protect the character of Wallington and enhance the community as this small rural village evolves. We aim to maintain an attractive environment for the evolving lifetime requirements of individuals and families, whilst preparing for future challenges. We intend to maintain a sympathetic mix of building styles, interspersed with green spaces. Opportunities will be sought to facilitate appropriate, small-scale economic activity.

Neighbourhood Plan Objectives

Objective 1: Preserving the beautiful natural setting of the village, maximising biodiversity and safeguarding valued green spaces in the village.

Objective 2: Reinforcing the distinctive character of the village, by safeguarding local heritage assets and setting out locally-specific, sustainable design principles for developments.

Objective 3: Supporting village life through the safeguarding of community assets and facilities and encouraging participation in village activities.

Objective 4: Supporting the provision of limited infill housing where it meet local needs.

Objective 5: Supporting opportunities for economic activity locally that can be achieved sympathetically to the village, for instance home-working and farm diversification.

4 SPATIAL STRATEGY

Policy W1: Location of development

Purpose

- 4.1. Wallington is classified by NHDC as a category B village, which means that limited infilling development, which does not extend the built core of the village, will be allowed. The Local Plan does not define the extent of the built core for Wallington, therefore Policy W1 provides a definition and boundary for this. It should be noted that development can occur beyond the built core area, where it is an appropriate use within the countryside, as supported either by national or local policies. Policy W1 also seeks to ensure that proposals make the best use of suitable brownfield land, where available, before greenfield land is released for development.

Justification

- 4.2. Most of the neighbourhood area is classed, within strategic policy, as “Rural Area beyond the Green Belt”, except for a small area on the western edge, which is within the Green Belt. The area falls within two landscape character areas, identified in the [North Herts and Stevenage Landscape Character Assessment](#) and shown on Figure 4.1. These provide guidance on capacity for development in the area:
- i. The Wallington Scarp Slopes (Area 223), covering the north of the area and to the east of the village: Large-scale development (>5ha) is considered inappropriate given the isolated landscape. Smaller development (<5ha) would also be difficult to accommodate on the steeply sloping, undulating landscape. Landscape capacity for even small urban extensions is therefore considered to be low.
 - ii. Weston-Green End Plateau (Area 222), covering most of the village and land to the west and south: Large-scale development (>5ha) is considered inappropriate given the rural and small-scale nature of the existing settlement. Smaller development – infill could be considered appropriate but must be carefully designed in order to complement the existing character and to avoid erosion of the important green and open spaces that contribute to landscape character.
- 4.3. NHDC’s Local Plan uplifts Wallington village’s classification in the settlement hierarchy to a Category B village. This means that limited infill development, that does not extend the built core of the village, would be permitted. The Local Plan does not, however, define the extent of what is meant by the built core. It suggests that whilst it should be possible to assess on a case-by-case basis whether a site is within the built core, this is something that communities may wish to explore and define through their neighbourhood plan.
- 4.4. The built core, or village envelope as it is sometimes referred to, is essentially a line that is drawn on a plan around a village, which reflects its built form. It is used as a policy tool to define the area where a set of plan policies are to be applied. There are many advantages to defining the built core including to:
- clearly demark the settlement from open countryside;
 - ensure a more plan-led and controlled approach to future housing growth;

- protect the countryside from unnecessary development and prevent ribbon development;
- enable a co-ordinated and consistent approach for refusing planning applications, which are unacceptable in planning terms;
- allow for more certainty to developers/land owners with sites/land within the boundary, as long as they adhere to all other plan policies; and
- allow the development of small sites which cannot be identified as allocations.

4.5. Policy W1 defines the built core of Wallington. The criteria used to define the boundary is included in Appendix B, along with a commentary. The boundary itself is shown on Figures 4.1 and 4.2 (inset).

Infilling within the built core boundary is considered acceptable where it is in conformity with the policies of the Local Plan and this Neighbourhood Plan. Existing brownfield and farmyard sites present a preferred source of development land. It should be noted that land at Bygrave Lodge Farm, Baldock, is a waste management facility (anaerobic digestion) that falls within the neighbourhood area and which is safeguarded by Policy 5 (Safeguarding of Sites) of the adopted Waste Local Plan. Any proposals which come forward within the vicinity of this facility must accommodate the existing facility and ensure that development does not prevent or prejudice the operation of the facility.

POLICY W1: LOCATION OF DEVELOPMENT

- A. Development proposals in the Wallington Neighbourhood Area shall be focused within the built core of the village, as defined in Figures 4.1 and 4.2, and in accordance with Policy W3 (Residential development within the built core).**
- B. Development proposals outside the built core of the village will only be supported where:**
- it is in accordance with the development plan policies on appropriate uses in the countryside; and**
 - it does not unacceptably detract from the important green spaces that contribute to landscape character, as set out in Policy W4, or the Local Green Spaces identified in Policy W8, or the locally significant views, as set out in Policy W7; or**
 - it brings redundant or vacant agricultural/farm buildings or historic buildings of heritage value back into optimal beneficial use in a manner that does not cause harm in terms of additional traffic; or**
 - it relates to necessary utility infrastructure.**

Conformity reference: NP Objective: 1, 2; NHDC Local Plan (2022): SP1, SP2, SP5, SP8; NPPF: 11, 13, 29, 60, 69, 70, 78, 79, 80, 84, 85, 93, 119-121, 147-151

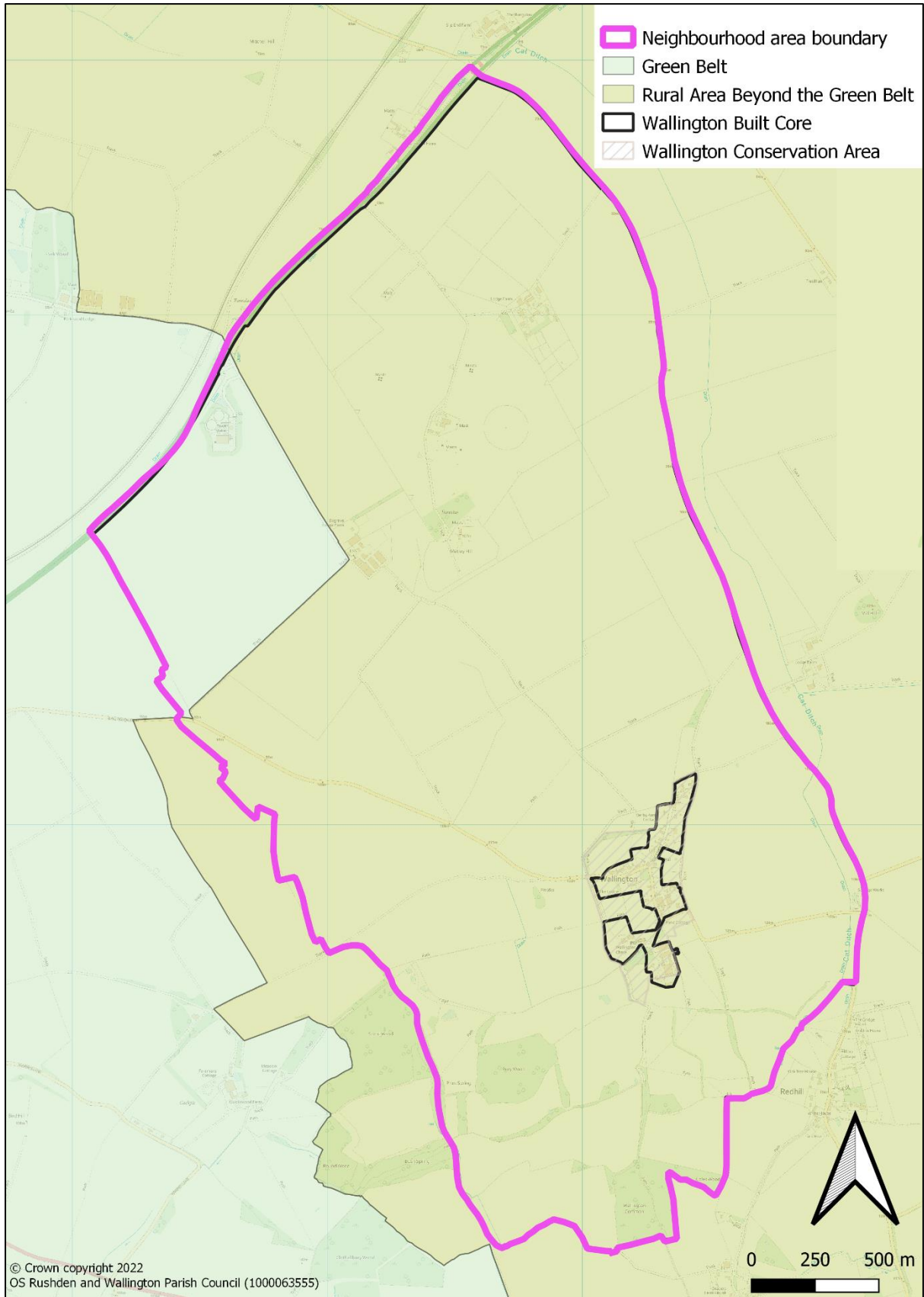


Figure 4.1: Built core of Wallington

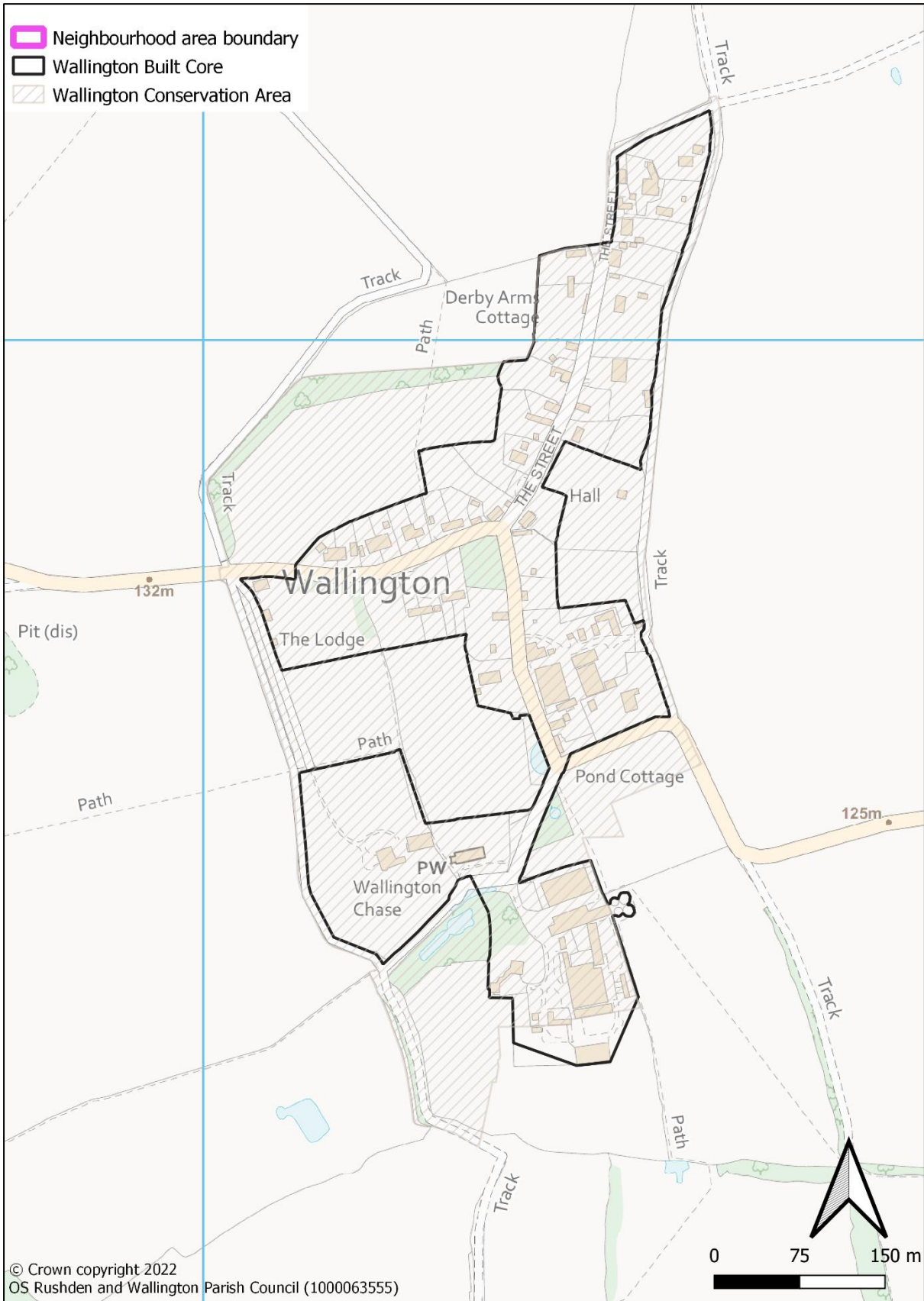


Figure 4.2: Built core of Wallington (inset)

5 HOUSING

Policy W2: Meeting local housing needs

Purpose

- 5.1. This policy seeks to influence the type and tenure of any new housing development in Wallington, in order that it meets the needs of local people as evidenced through the local housing needs assessment and survey.

Justification

- 5.2. Wallington currently comprises 61 dwellings and is home to approximately 150 residents. There are 44 dwellings located within the built core. The age profile of the community is significantly older than that of North Hertfordshire district and the wider region: between 2001 and 2011, the number of residents aged 65 and over rose by 32% (19 residents in 2001 and 25 residents in 2011) compared to 17% across the district. Furthermore, the numbers of residents aged 45 to 64 formed a substantial part of the population in 2011 when compared to the district. Ten years on, many of these residents will now fall within the older bracket or be approaching it, adding to the older demographic.
- 5.3. Conversely, the number of children aged 15 and under fell significantly between 2001 and 2011, although in more recent years, there have been at least four new families with young children who would fall into the 15 and under age category moving to the area.
- 5.4. The number of older teenagers and young adults is fairly high in the parish, compared with wider geographies, suggesting that children are remaining at home for longer. This is not necessarily unusual, [as demonstrated in research](#), however for those wishing to stay local, there are clearly few opportunities for young people in this bracket to buy or rent locally.
- 5.5. 66% of dwellings have at least two spare bedrooms. This is significantly higher than for the district and wider region, but is perhaps not surprising given the number of larger properties in the parish compared to smaller ones and the propensity for many people to stay in the village.
- 5.6. Data from the 2011 Census, taken together with the findings of both the top-down Housing Needs Assessment and locally driven Local Housing Survey, point to the need for any new infill housing in the village to prioritise the following needs:
 - i. Smaller properties to enable older people to downsize locally if they wish, or for those starting out on the housing ladder. This would free up larger houses for existing or new families to fully occupy. Providing opportunities to downsize was supported by 40% of residents in the Local Housing Survey.
 - ii. More affordable properties, both for sale and to rent, to attract those starting out on the ladder. This would introduce a younger age group to the village, which in turn will help the

sustain the vitality of Wallington. The Local Housing survey demonstrated support for more younger families to be attracted to the village (62%).

- 5.7. It is noted that in the context of being a Category B village, it is likely that any new development is likely to be small-scale and fall beneath the threshold requiring affordable homes to be delivered. Nevertheless, there may be instances of developers wishing to bring forward affordable homes, including through a rural exception site, and Policy W2 provides the detail of what should be prioritised to meet the local needs of the neighbourhood area. Policy W2 has been designed to complement the approach taken in Policies SP2 and SP8 of the Local Plan. On this basis it does not comment directly on the delivery of affordable housing as this is addressed in the Local Plan. Nevertheless, the third part of the policy comments about the incorporation of affordable housing within residential developments.
- 5.8. **First Homes** - In June 2021 the Government introduced a policy requiring 25% of affordable housing provided to be First Homes. These are a specific kind of discounted market sale housing and should be considered to meet the definition of 'affordable housing' for planning purposes. Specifically, First Homes are discounted market sale units which:
- a. must be discounted by a minimum of 30% against the market value;
 - b. are sold to a person or persons meeting the First Homes eligibility criteria (see below);
 - c. on their first sale, will have a restriction registered on the title at HM Land Registry to ensure this discount (as a percentage of current market value) and certain other restrictions are passed on at each subsequent title transfer; and,
 - d. after the discount has been applied, the first sale must be at a price no higher than £250,000.
- 5.9. First Homes are the government's preferred discounted market tenure and should account for at least 25% of all affordable housing units delivered by developers through planning obligations.
- 5.10. NHDC advise that given the timing of the introduction of First Homes, the adopted Local Plan does not account for First Homes in its housing policies. The housing policies contained in the Local Plan have been developed in line with the associated evidence base, which includes the Strategic Housing Market Assessment undertaken in 2016. The Council is currently in the process of updating its Strategic Housing Market Assessment Volume II to include the implications of First Homes. Once complete, this evidence base document will inform the approach to First Homes when determining planning applications.
- 5.11. Under transitional arrangements, once the Council has an up to date adopted Local Plan, there is not an automatic need to reflect the requirement for First Homes when considering planning applications. The Council will not normally support the provision of First Homes as part of the affordable housing mix. Nonetheless, the Council do recognise that National Planning Practice Guidance recommends a flexible approach to the delivery of First Homes and, on occasion, there may be specific circumstances where it is necessary to consider their

inclusion as an affordable housing product. The appropriateness of any First Homes will be considered on a case-by-case basis, where the overall proportion of affordable housing that can be achieved on site will not be adversely affected and the Local Plan requirement for 65% of affordable homes for rent is met. Further information is contained in the [Developer Contributions Supplementary Planning Document](#) (January 2023).

POLICY W2: MEETING LOCAL HOUSING NEEDS

- A. The mix of housing sizes, types, tenures, and affordability in proposed development should, in so far as is reasonably practicable and subject to viability considerations, assist in meeting the needs identified in the most recently available Wallington Local Housing Needs Assessment. Proposals that will deliver smaller one-, two-, and three-bedroom dwellings, to address the needs of single people, young couples, smaller families and the elderly will be supported.**
- B. Subject to the other policies of this plan, proposals for community-led housing projects including self-build and co-operative housing will be supported.**
- C. Affordable homes delivered within residential developments should be well integrated within the overall layout.**

Conformity reference: NP Objective: 4; Local Plan: SP2, SP8; NPPF: 60 to 65, 78

Policy W3: Residential development within the built core

Purpose

- 5.12. This policy has two purposes. The first is to provide specific criteria to be met by proposals for both infill and windfall (defined by the NPPF as sites not specifically identified in the development plan) development within the defined built core of the village, in accordance with the scale of development anticipated in a Category B village. As part of this approach, it sets out specific policy guidance back-land development, which refers to sites including residential garden land and any land which sits behind the existing development with little or no frontage onto a public highway. It identifies that through careful design and layout such schemes can be incorporated in the built core in a way which responds positively to the character and appearance of the local area.
- 5.13. The second purpose is to acknowledge that the main opportunities for housing provision in the neighbourhood area are on previously developed (brownfield sites), which in Wallington comprise largely former agricultural sites. The WNP supports housing provision on such sites, which should make effective use of space and hence could be larger than what would constitute 'infill' within the wider village setting. This will help to avoid the piecemeal development of such sites.

Justification

- 5.14. The Local Plan states that within a Category B village such as Wallington, limited infill development that does not extend beyond the built core of the village into the surrounding countryside, will be permitted.
- 5.15. Infill is defined by the [Planning Portal](#) as "the development of a relatively small gap between existing buildings". It usually consists of a frontage plot only and often comprises the side gardens of existing houses. The Local Plan does not set a size threshold for infill development. It is our view that this should be considered on a site-by-site basis taking into consideration the size of the site and the character of the area. For the purposes of this policy, therefore, infill development is defined as the development of a small gap in an otherwise built-up frontage, which comprises a front/side entrance leading to an adopted road. Back-land development, which is generally the more comprehensive development of land behind an existing frontage, and tandem development, the placing of one dwelling behind another within a single plot, will be resisted.
- 5.16. Local engagement revealed that infill was viewed as an acceptable form of development on a small-scale so long as it was in keeping with the existing character and context of the village and was designed in a way to minimise its impacts on neighbouring properties. There was also a desire amongst parishioners to refrain from back-land development. This was felt to lead to cramming of sites with the associated adverse impacts, including loss of amenity; overshadowing and overlooking; loss of sunlight/daylight; noise; loss of green links/trees/hedgerows/vegetation; visual intrusion; loss of space between buildings; difficulties of recycling and waste collections/bin storage.

Defining private amenity space: Residential amenity is not defined in law. In planning terms, 'amenity' is often used to refer to the quality or character of an area and elements that contribute to the overall enjoyment of an area. Residential amenity considers elements that are particularly relevant to the living conditions of a dwelling.

Residential amenity has a significant and valuable impact on the way in which people use their homes. It relates to both the home itself and any private outdoor space associated with the home. The health and well-being of residents is often directly related to the level of residential amenity occupants can enjoy. It is a duty of the planning system to support sustainable development. Sustainable development incorporates a social role which seeks to secure well designed, strong, vibrant and healthy communities. When assessing how a development proposal may impact on the existing amenity of an area and living conditions of nearby occupiers, the following issues would be significant:

1. Privacy How would the development proposals affect privacy levels?
2. Overbearing effects Would the scale of development and its proximity to other buildings result in an oppressive environment?
3. Natural light and outlook Would the development provide existing or proposed properties with sufficient outlook and natural lighting levels thereby avoiding significant overshadowing and enclosure?
4. Environmental effects Would the development cause or be exposed to any other environmental effects?
5. Other design guidance How does the design of the proposal promote a good standard of amenity?

- 5.17. Within the neighbourhood area are agricultural sites, some of which are underused or vacant, and which could be redeveloped to deliver housing or work units (in accordance with Policy W12), where this is pursued in a way to reinforce Wallington's character. For example, the development of the currently disused Manor Farm into smaller, more affordable dwellings could resolve the housing bottleneck for the next 20-30 years (the next generation). The building of new 2- to 3-bedroom properties could release larger properties in Wallington. Such sites may have scope for larger numbers of homes than infill would normally allow for.

POLICY W3: RESIDENTIAL DEVELOPMENT WITHIN THE BUILT CORE

A. Within the built core of Wallington, the following types of development will be supported:

- i. the redevelopment of brownfield and previously developed former agricultural sites, making most efficient use of space; and**
- ii. infilling comprising extensions or new developments, between existing residential development where infilling development is defined as the development of a small gap in an otherwise built-up frontage, which has a front/side entrance leading directly onto an adopted road;**

where the following criteria are met:

- iii. they address identified local housing needs, in accordance with Policy W2;**
- iv. they preserve and, where practicable, enhance the local character of Wallington, in accordance with Policy W5 of this Neighbourhood Plan and the guidance contained in the Wallington Design Guidelines and Codes (Appendix C);**
- v. they respond positive to the prevailing density of the village;**
- vi. they respect the private amenity space of existing residential properties;**
- vii. they have a direct highway access to the front/side of the property;**
- viii. they respond positively to heritage assets, including where relevant the special interest, character, and appearance of the Conservation Area, as set out in the Conservation Area Statement;**
- ix. they can be accommodated in a satisfactory way in the local road network, in accordance with Policy W4 (Character and Design of Development);**
- x. they provide adequate waste storage space to enable recycling;**
- xi. where appropriate, they incorporate sustainable drainage facilities which enhance wildlife and biodiversity in their immediate locality.**

B. Development proposals for back-land sites, including residential garden land within the built core, should respond positively to the character and appearance of the local area. Proposals which would create unacceptable harm to the character and appearance of the immediate locality will not be supported.

Conformity reference: NP Objective: 1, 2, 4; Local Plan: SP2; NPPF: 64, 69, 70, 79, 124

6 DESIGN, CHARACTER AND HERITAGE

Policy W4: Reinforcing Wallington's local character through design

Purpose

- 6.1. This policy promotes high quality design that is in keeping with, and contributes positively towards, the character of the area. It adds additional local detail to the strategic policies contained within the NHDC Local Plan.

Justification

- 6.2. Both the underlying geology and landscape, coupled with the activities of past generations of people and development, have created the features that give the Wallington its distinctive character and identity today.
- 6.3. From a landscape perspective, the [Wallington Scarp slopes Landscape Character Area](#) (Area 233, p. 414) forms an important natural feature to the north and east. This open, unenclosed landscape affords sweeping views over the striking rolling backdrop. It and has been used within numerous films seeking a remote and development-free setting. The land is predominantly arable in nature, providing a habitat for a variety of animals including hares and numerous farmland birds, such as corn-bunting and quail. The openness of the landscape means that development can be very conspicuous and therefore should be carefully thought out.
- 6.4. The remainder of the area, to the south, falls within the [Weston-Green End Plateau Landscape Character Area](#) (Area 222, p.136). This flat, gently sloping plateau, comprises arable land, pockets of woodland, hedgerows, and winding roads. There are a number of important green spaces within the village that contribute to this landscape, as shown on the Policies Map, along with other character features within the area.



Sweeping open views are typical of the area

- 6.5. The historic settlement pattern is of a sparse nature characterised by farms and the small village of Wallington itself. There are a few minor roads and a small number of rights of way, however, despite its proximity to the A1, Wallington is characterised by its rural, tranquil nature and is quite hidden amid the wider landscape. The village is almost entirely designated as a Conservation Area, with 19 individual and collections of listed buildings (almost a third of the village), the Church of St Mary being Grade II* listed with parts dating from the mid-15th century

(see Figure 6.1). Archaeological deposits have been found in the area, including Bronze Age and Neolithic Flint near to the Church, while to the north, finds have included prehistoric ring ditches and Roman-British burials.

- 6.6. The village is perhaps most well-known for being the home of George Orwell between 1936 and 1940, and for providing the inspiration for *Animal Farm*, in particular The Great Barn and Manor Farm, the latter being the name of the farm in the village. These features are greatly valued, with one response to the community survey stating: *“We have a responsibility to protect the literary heritage of George Orwell’s Animal Farm by ensuring any development is a good fit for the original appearance of the farmyard.”* The attractive design and architecture of developments within the village is typical of Hertfordshire, making use local traditional materials such as clay roof tiles and timber weatherboarding.



George Orwell’s former residence, Kit’s Lane

- 6.7. The Wallington Design Guidelines and Codes (included at Appendix C) forms an integral part of the WNP. It sets out design guidance to inform planning applications and residential developments in the Neighbourhood Plan area. It provides guidance for infill development and conversions explaining how these should be designed to reinforce the local historic character of the area and to preserve the open space, which is characteristic of Wallington. The guidance complements the Wallington Conservation Area Character Statement, published in 2019, which sets out opportunities for improvement within the Conservation Area that should be considered within development proposals.
- 6.8. All development should be designed to a high quality and reinforce and enhance local character, heritage assets and the rural setting of the area, including its dark skies. Residents are encouraged to turn lights off at nightfall.
- 6.9. The density of development should create a character that is appropriate to the site’s context, including the landscape in which it is set, whilst making best use of the land available. Lower density housing should be located towards the outer edges of the settlement where it abuts open countryside, to maintain views from and into the individual settlements.
- 6.10. The [Housing our Ageing Population Panel for Innovation \(HAPPI\)](#) has, since 2009, promoted a series of principles for good design of housing. Many are recognisable from good design generally - good light, ventilation, room to move around and good storage - but they have particular relevance to the spectrum of older persons’ housing which needs to offer both an

attractive alternative to the family home and be able to adapt over time to meet changing needs. Such principles should be incorporated.

- 6.11. Development should have regard to both the character of the area in which it is set and to the character of the area overall.
- 6.12. Car parking also needs to be carefully considered; the historic nature of the village has meant that some houses do not have off-street parking. Vehicles often park on-street, therefore, which can be problematic given the narrowness of the streets. NHDC's Parking standards do not require visitor parking to be off-street, therefore this is something that the WNP seeks to address.

POLICY W4: REINFORCING WALLINGTON'S LOCAL CHARACTER THROUGH DESIGN

- A. Development proposals should preserve and where practicable enhance the local character of Wallington. The design of new development should take account of the local context and reflect the natural and built character and vernacular of the area, in terms of architecture and materials, to avoid building design that is inappropriate to the Plan area. Careful consideration should be given to the impact of the development on the openness of the landscape. Innovation in design will be supported, however, only where this demonstrably enhances the quality of the built form in the area.**
- B. As appropriate to their scale, nature and location development proposals should address the following criteria:**
- i. be guided by the principles included in the Wallington Design Guidance and Codes (2021) (see Appendix C), the [Wallington Conservation Area Character Statement \(2019\)](#) and the [North Hertfordshire and Stevenage Landscape Character Assessment](#); and**
 - ii. meeting the principles of Building for a Healthy Life unless alternative principles would result in a higher quality of design. Development proposals that would achieve the Building for a Healthy Life commendation will be particularly supported; and**
 - iii. site masterplanning and site layouts should reflect historic character as well as appearance; and**
 - iv. for residential development, addressing the principles of [Housing our Ageing Population Panel for Innovation \(HAPPI\)](#). Such dwellings may also be suitable for younger residents and are not intended to be restricted to particular users; and**
 - v. minimise their impact on both designated and non-designated heritage assets, in accordance with Policy W5; and**
 - vi. follow the guidance on lighting provided in the [Institution of Lighting Professionals \(ILP\) Guidance Note GN01: The Reduction of Obtrusive Light](#) (and any subsequent revisions) is adhered to. Proposals should consider carefully, and provide details of, the light source and intensity being used, the luminaire design, height, and angle, adding baffles and cut-off shields where required, and details of control mechanisms to dim or switch**

off lighting schemes when not required. Where appropriate, lights should be controlled by passive infrared detectors so that they only come on when needed.

- vii. avoid unacceptable impact on the local views as set out in Policy W7; and**
- viii. make a positive contribution to the visual appearance of the main highway approaches into the settlements: Wallington Road and The Street, which should include adding tree planting or the provision of roadside green verges; and**
- ix. ensure safe pedestrian, and where feasible cycle/equestrian, access to link up with the existing Public Rights of Way network; and**
- x. ensure that traffic generation and parking does not unacceptably affect vehicular and pedestrian safety. The use of sustainable transport modes should be promoted by providing space for cycle parking, improving Public Rights of Way infrastructure and provision of electric vehicle charging points. Residential parking provision should be in accordance with the [NHDC Parking standards](#), with priority given to adequate off-road parking for residents, visitors and service vehicles; and**
- xi. ensure that areas requiring service and maintenance including watercourses are accessible at all times.**

Conformity reference: NP Objective: 1, 2; Local Plan: SP6, SP9, SP12, SP13; NPPF: 92, 100, 1004e, 106, 107, 124-132, 174

Policy W5: Heritage Assets in Wallington

Purpose

- 6.13. This policy identifies heritage assets within the neighbourhood area that are neither nationally nor locally listed, but which are locally important, as non-designated heritage assets. It also seeks to conserve the rich archaeology of the area.

Justification

- 6.14. Wallington has a rich heritage with 19 individual and collections of nationally important heritage assets that are designated by way of a listing. These account for approximately one third of the village's buildings and structures. These heritage assets are already protected by national and local planning policies. As such, the Plan has a focus on the identification of non-designated heritage assets.
- 6.15. The [Conservation Area Character Statement for Wallington](#) identified two assets that are not currently nationally listed but which were considered to contribute to the heritage and character of Wallington:
- 11 – 13 The Street: A red brick estate cottage with hood mould above the windows to the north of the former Plough Public House. The hood moulding is shared by 4-6 Kit's Lane and the Village Hall.
 - The Old Post Office on The Street.
- 6.16. The Working Group consider that the first, 11-13 The Street, is important from a historical perspective and should be recognised as a non designated heritage asset. Whilst the Old Post Office is an old building, it has been significantly altered and therefore is not considered suitable for identification as a non designated heritage asset.
- 6.17. Furthermore, as part of the engagement process for the WNP, the local community was asked about whether there were any other assets within Wallington that they considered to be historically important due to the contribution that they make to the distinctive local character and history of the area. Most of the suggestions made were, in fact, already listed, such as Orwell's former residence, various barns at Manor Farm, the phone box and The Plough Inn. The notable assets that are not currently listed are:
- Village Hall
 - Village bus shelter
 - Well Pond structure
 - Village Pump
- 6.18. Policy W5 identifies five buildings and structures as [non-designated heritage assets](#), in order that their historic contribution is recognised and considered as part of any future development proposal. Full details about why they are of local historic importance is included in Appendix D. Figure 6.1 shows the assets on a map.
- 6.19. There will be a strong presumption against the loss of these assets and, in parallel with the policy, the Parish Council will seek to include them on [NHDC's Register of Buildings of Local](#)

[Interest](#). It should be noted, however that inclusion on the Register is not necessary for the application of the policy.

- 6.20. The area is rich in archaeology, and this has been catalogued in an extensive report (Hertfordshire County Council Monument Full Report (16.3.21) and List of finds from Wallington registered with the Portable Antiquities Scheme: both available in the evidence base on the Parish Council website).



Images show: Wallington Village Hall and Grade II listed St Mary's Church*

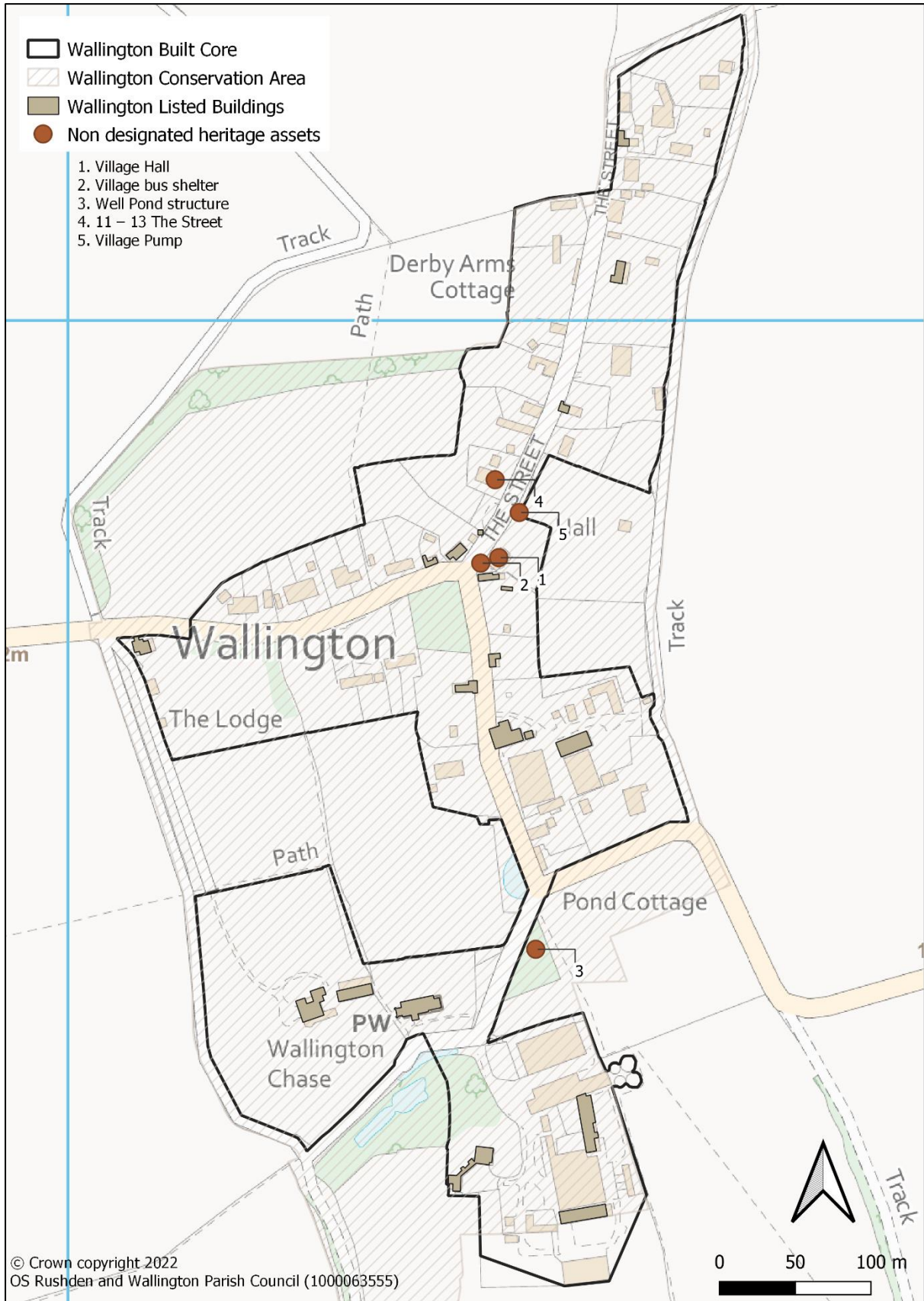


Figure 6.1: Designated and non-designated heritage assets

POLICY W5: HERITAGE ASSETS IN WALLINGTON

A. The Neighbourhood Plan identifies the following five buildings and structures (as detailed in Appendix D) as a non-designated heritage assets:

- 1. Village Hall**
- 2. Village bus shelter**
- 3. Well Pond structure**
- 4. 11 – 13 The Street**
- 5. Village Pump**

B. Proposals affecting non-designated heritage assets will be assessed having regard to the scale of any harm or loss against the significance of the heritage asset.

Conformity reference: NP Objective: 2; Local Plan: SP13; NPPF: 189, 190, 192, 194, 196, 199, 200 to 203, 206

Policy W6: Design to mitigate climate change

Purpose

- 6.21. This policy encourages high standards of energy efficiency and design. It does so within the broader UK context of achieving a net zero carbon target by 2050.

Justification

- 6.22. On 12 June 2019 the Government voted to amend the Climate Change Act 2008 by introducing a new target for at least a 100% reduction of greenhouse gas emissions (compared to 1990 levels) in the UK by 2050. This is otherwise known as a net zero target. This is a demanding target, which will require everyone to be engaged, from households and communities, to businesses and local and national government. As part of this, the government has set an interim target to cut the country's greenhouse gas emissions by 78% by 2035 compared to 1990 levels.
- 6.23. Being '2050 ready' will require new builds to have minimal energy use and net zero carbon emissions over the year. To enable this, the Future Homes Standard coming into force in 2025 should ensure that all new homes built from 2025 will produce 75-80% less carbon emissions than homes delivered under current regulations.
- 6.24. Planners and developers are strongly encouraged to make use of energy efficient materials and to consider high-efficiency alternative systems and facilities for development sites. In this context, the orientation of buildings can be important to make best use of available sunlight.



Examples of discreet solar panels (source: Historic England)

- 6.25. The efficient use of water is also to be considered. The [Environment Agency has warned](#) that within the next 25 years and beyond, there may not be enough water due to climate change, population growth and increases in demand. It suggests that local and neighbourhood plans in severely water stressed areas should include targets limiting domestic water consumption. [Affinity Water](#), which serves the area, has already committed to reducing the amount of water it takes from the environment by 78 million litres per day by 2025. To support this, the WNP strongly supports proposals for achieving total mains water consumption of no more than 110 litres per person per day (Each person uses about 142 litres of water each day. The average household (2.52 people) uses 349 litres of water each day. The average annual metered water bill is £4272. per household per year: Energy Saving Trust). This target is equivalent to that proposed as an optional requirement of the Housing Standards Review which corresponds with Code Level 4 in relation to water efficiency.

- 6.26. Opportunities to promote sustainability and climate mitigation in Wallington include:
- using materials that optimise insulation, to Passivhaus or equivalent standards;
 - integrating renewable energy systems into new development and enabling the retrofitting of existing, older buildings;
 - reducing water consumption for instance through rainwater harvesting or grey water systems; and
 - encouraging a shift to more sustainable and active travel by linking development to and improving the Public Rights of Way and cycleway network, and providing electric vehicle charging points;
- 6.27. Policy W6 seeks to provide a local iteration of the national and local policy context for this important matter. While taking account of the importance of the Building Regulations in regulating and delivering energy efficiency measures, it identifies a series of locally distinctive design features which would be supported where they are incorporated into development.

POLICY W6: DESIGN TO MITIGATE CLIMATE CHANGE

- A. Development proposals which incorporate design and environmental performance measures and standards to reduce energy consumption and climate effects will be supported.**
- B. Development proposals which incorporate the following sustainable design features, as appropriate to their scale, nature and location, will be strongly supported:**
- i. Siting and orientation to optimise passive solar gain, either through the provision of solar photovoltaic cells as part of development or by ensuring that development is designed to maximise the potential for solar gain if retrofitted at a later date. Efforts should be taken to integrate such equipment neatly into the design of the building.**
 - ii. The use of high quality, thermally efficient building materials, particularly those that are used to achieve the Passivhaus or equivalent standard.**
 - iii. Incorporating on-site energy generation from renewable sources such as solar panels.**
 - iv. incorporating energy-efficient heating equipment powered from renewable energy such as air source and ground source heat pumps.**
 - v. Reducing water consumption through the use of grey water systems.**
 - vi. Providing low carbon sustainable design and avoid or mitigate all regulated emissions using a combination of on-site energy efficiency measures (such as insulation and low energy heating systems), on-site zero carbon technologies (such as solar panels) and only where necessary off-site measures to deal with any remaining emissions.**
 - vii. Alterations to existing buildings should be designed with energy reduction in mind and comply with current sustainable design and construction standards.**

- C. The retrofitting of heritage properties/assets to reduce energy demand and to generate renewable energy will be supported where appropriate, providing it safeguards the integrity and character of the heritage asset concerned.**
- D. Development proposals for individual and community scale energy, for instance from hydro-electricity, solar photovoltaic panels, local biomass facilities, anaerobic digestions and wood fuel products will be supported subject to the following criteria:**
- i. the siting and scale of the proposed development is appropriate to its setting and position in the wider landscape; and**
 - ii. the proposed development does not create an unacceptable impact on the amenities of local residents; and**
 - iii. the proposed development does not have an unacceptable impact on a feature of natural or biodiversity importance.**

Conformity reference: NP Objective: 2; Local Plan: SP9, SP11; NPPF: 104, 126, 127, 152 to 156

Policy W7: Locally Significant views

Purpose

- 6.28. This policy identifies 22 locally significant views and seeks to safeguard them against any detrimental impact of development. The views have been identified following significant engagement with the local community.

Justification

- 6.29. The neighbourhood area comprises the historic village itself, with its recognisable character and iconic heritage assets set against a remote and classically English backdrop of rolling farmland, fields and woodland. It is this landscape that inspired the writing of George Orwell. Orwell was resident in the village for four years. During WWII he let his cottage out to friends who had been bombed out of their own home. Orwell's last visit to the village was in 1945. The views from different parts of the village, looking outward across the wider landscape are an important part of what gives the area its distinctive feel and are valued by both residents and visitors to the area. The topography of the surrounding area means that there are some significant long-distance views which define Wallington.
- 6.30. The Landscape Character Assessment emphasises this open and remote setting, largely devoid of man-made structures (with the exception of Metley Hill Radio Station), which surrounds Wallington Village. Policy W1 of this Neighbourhood Plan acknowledges this special landscape and establishes that any development should be directed to within the built core of the village. Where development is considered appropriate beyond the built core, the Plan's policies seek to ensure that proposals are very carefully planned to neutralise or minimise their impact on the natural and built landscape of the area. In particular, land within the Wallington Scarp Slopes Character Area is considered to have very little capacity for development.
- 6.31. To assist proposals in considering how they might impact on the landscape, a list of the most significant key views has been identified. Some of these were identified in the Wallington Conservation Area Character Statement. All have been strongly supported through the community engagement. The views are:
- KV1 From The Street, looking north through the village
 - KV2 From the junction of The Street and Kit's Lane, looking south
 - KV3 From Kit's Lane, looking east, depicting the hollow way, which defines the street with greenery and margin planting
 - KV4 From The Street, looking north, past the Grade II listed late 16th century 3 and 5 and the Grade II listed Great Barn at Manor Farm
 - KV5 From the southern end of The Street, looking north, past non-designated buildings making up the street frontage (2-4, The Street) and Manor Farm, with 3-5, The Street (1176371) visible in the distance through the trees
 - KV6 From south-east of the Grade II* Church of St Mary (1347337), looking toward the church

- KV7 View along FP44 across “The Park”
- KV8 View across “The Wick” from The Street towards Manor Farm and Manor Farmhouse
- KV9 View across open countryside from the Southern end of “The Baulk” (FP32) looking in an Easterly direction
- KV10 View across open countryside in a South- and Westerly direction from FP47
- KV11 View across “The Warren” towards Quickwood along FP36 towards its junction with FP45 and Bury Wood)
- KV12 View west across open countryside from the intersection of FP47 and FP22
- KV13 View across open countryside in a West and North-Westerly direction from a bend in FP26
- KV14 View north-east across open countryside and the Northern end of The Street from the junction of FP25 and FP26
- KV15 View towards Wallington from Wallington Road from the crest of the hill
- KV16 View towards Wallington from the junction of FP with Cat Ditch Road
- KV17 View across New Close field from FP27, towards Sandon, Redhill, and Shaw Green
- KV18 View from FP27, New Close Meadow, towards the duck pond and village, with Well Pond area of trees to the left, and Mutcheaps Meadow beyond the pond.
- KV19 View of church and duck pond area across Mutcheap’s Meadow from the junction of FP31 and FP22
- KV20 View across Chase Meadow from the junction of FP31 and FP22
- KV21 View towards duck pond area across Mutcheaps Meadow from St Mary’s Churchyard (church path)
- KV22 View from duck pond towards St Mary’s Church (Grade 2* Listed) across Mutcheaps Meadow

- 6.32. Full details of the views, including photographs and text explaining why they are special, are included in Appendix E. Figures 6.2 and 6.3 show the views on a map.
- 6.33. Policy W8 requires that development proposals are designed in a way that safeguards the locally significant view or views concerned. It attempts to provide the flexibility required for the sorts of development proposals that may come forward within the Plan period. In circumstances where the proposed development would be likely to have an impact on any identified key view, the planning application concerned should be accompanied by a landscape and visual impact assessment that is proportionate to the scale of the development proposed. Any appropriate mitigation measures should be incorporated within the design of the development proposed and captured in the assessment.

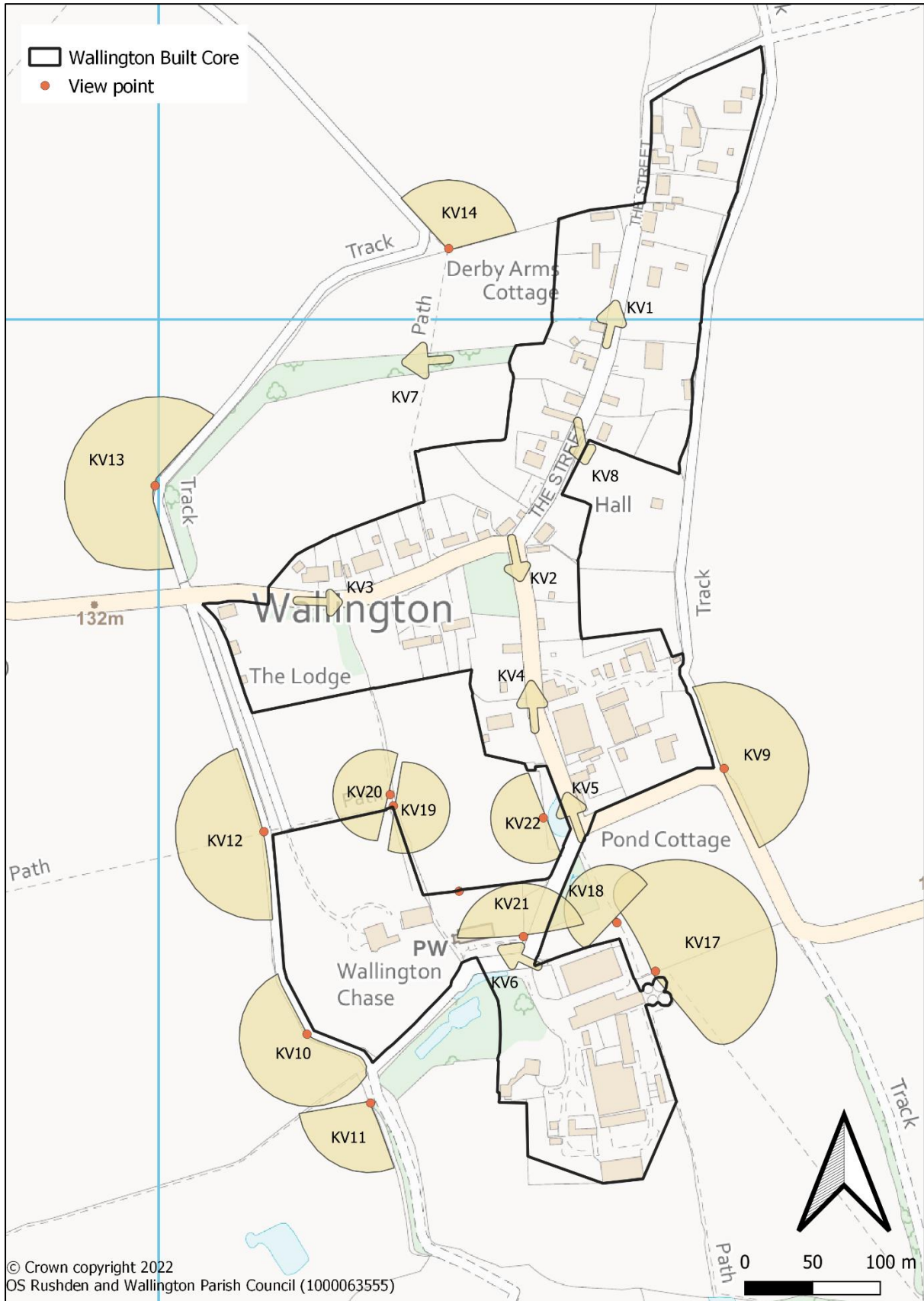


Figure 6.2 Locally significant views (excluding KV15 and KV16)

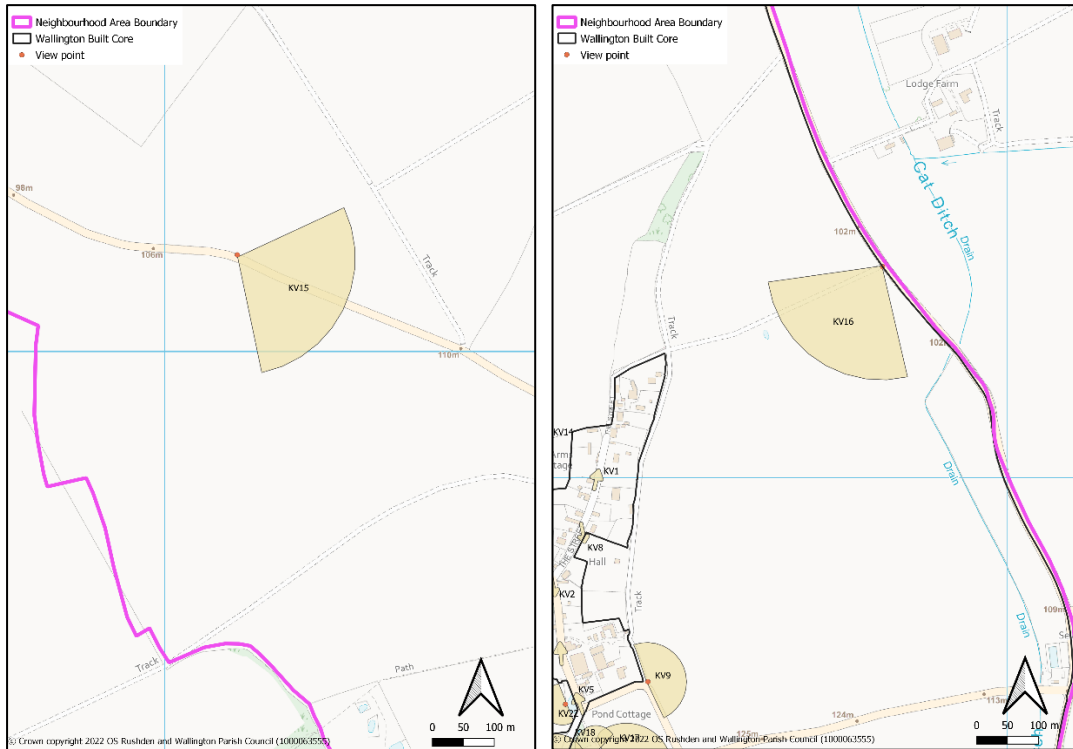


Figure 6.3 Locally significant views (Outer views KV15 and KV16)

POLICY W7: LOCALLY SIGNIFICANT VIEWS

The landscape surrounding the village of Wallington contributes greatly to its character. Development proposals should respond positively to the open landscape and its long-distance views.

The Plan identifies 22 locally significant views on Figures 6.2 and 6.3. As appropriate to their scale and nature, development proposals within the shaded arcs of the various views should be designed in a way that safeguards the locally significant view or views concerned.

Conformity reference: NP Objective 1, 2; Local Plan: SP9, SP10; NPPF: 126 to 130

7 COUNTRYSIDE AND GREEN SPACE

Policy W8: Green and blue Infrastructure, landscape features and biodiversity

Purpose

- 7.1 This policy seeks to ensure that the key features that contribute to the natural character of the area and which provide habitats and wildlife corridors, are not adversely impacted by development, rather they are, where possible, enhanced by it.

Justification

- 7.2 The NPPF states that plans should seek to protect and enhance biodiversity and geodiversity including by identifying and mapping habitats and networks.

The Defra biodiversity metric

has been designed to determine and quantify existing biodiversity value, in terms of habitats, and the consequent measures required to ensure measurable net gain. Net gain involves a post development increase in biodiversity units of 10%. Natural England considers this to be the most appropriate mechanism for determining current ecological value and delivering biodiversity net gain. Ecological assessment by suitably qualified people must utilise this metric on all habitats to determine net gain. Ecological reports must be consistent with BS 42020 Biodiversity – code of practise for planning and development.

- 7.3 The WNP Working Group commissioned the Herts Environmental Records Centre (HERC) to prepare a report on the habitats and species found within the neighbourhood area. Much of the report is confidential due to the nature of the content. The HERC should be consulted on any development proposals This revealed the following designated habitats:
- Ancient woodland: Bury Wood; Coles Wood; and Spital Wood/Bush Spring
 - Local Wildlife Sites: Icknield Way, SW of Slip End (A505); Bush Spring, Clothall; Spital Wood and Prim Spring; Bury Wood; Wallington Churchyard; Wallington Common and Coles Wood; Copse E. of Prim Spring; Copses S. of Bury Wood; and Manor Farm.
 - Local Green Spaces: as defined in Policy W9
 - Significant trees and blue spaces as identified in the Conservation Area Appraisal
- 7.4 In addition, the [Local Biodiversity Action Plan for Hertfordshire](#), prepared by the Herts & Middlesex Wildlife Trust, identifies Key Biodiversity Areas in the county, one of which falls within the neighbourhood plan area, the Clothall/Wallington/Weston area of chalky boulder clay woods and meadows. Key species in this area include arable weeds (Shepherd's Needle, Corn Gromwell) and birds (Quail, Corn Bunting, Stone Curlew, Golden Plover, Dotterel, Turtle Dove, Skylark).
- 7.5 In addition to these designated habitats, there are other distinctive natural features particular to Wallington that are not protected yet provide vital habitats for flora and fauna. The area is home to trees and woodland, including ancient woodland and significant trees within the conservation area. As noted in the NPPF at paragraph 131, trees play a vital part in dealing with the effects of climate change and managing pollution. They provide shade, reduce flood risk,

enable carbon capture, improve air quality and contribute to the purification of water. They also contribute to local character.

- 7.6 Ancient woodland is an irreplaceable habitat, which has both heritage and cultural value. Natural England advises that development which would result in the loss of, or damage to, ancient woodland will not be permitted except in wholly exceptional circumstances, as set out in paragraph 180 of the NPPF. They advise that it is preferable to link up fragmented areas of woodland, which might be divided by development, with green bridges or tunnels. Also, to buffer ancient woodland by leaving an appropriate zone of semi-natural habitat between the development and the woodland, providing wildlife corridors, and balancing new developments and residential areas with green infrastructure and allowing space for trees.
- 7.7 Other natural features include hedgerows, mature planted gardens, agricultural and grazing land, ponds and meadows. The Conservation Area Appraisal identifies significant green and blue spaces, some of which are also designated as Local Green Spaces. These provide individually and collectively vital steppingstones and corridors for many animals and birds, especially those migrating, to safely navigate around their domains. The HERC report identified 632 distinct plant and animal species in the area, including protected ones such as the grey partridge, hawfinch, yellowhammer, Eurasian badger, and the brown long-eared bat.
- 7.8 The green and blue infrastructure assets of the area should be maintained, enhanced and, where possible, better connected. If significant harm resulting from a development cannot be avoided (for instance by locating to an alternative site with less harmful impacts), adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused. Policy W8 sets out mechanisms to ensure that planning applications result in biodiversity net gain. The second part of the policy sets out the need for a biodiversity appraisal. Appraisals should demonstrate that where significant harm cannot be avoided, proposed development and other changes should adequately mitigate or, as a last resort, compensate for the harm. The appraisal should seek to demonstrate a measurable biodiversity net gain of a minimum of 10% by utilising the Defra biodiversity metric (or as amended). Where this is not demonstrated, permission for planning or for change should be refused. Measures to achieve biodiversity net gain, mitigation or compensation involving the creation of habitat and/or relocation of species, must be agreed by North Hertfordshire Council and include sufficient funding to support at least 30 years of post-development habitat management or land use change.
- 7.9 Planning permission should also be refused for any development resulting in the loss or deterioration of irreplaceable habitats such as veteran trees and trees of a high conservation value, unless the need for and benefits of the development in that location clearly outweigh the loss. In this instance, substantial compensation as quantified by the Defra biodiversity metric will be required.

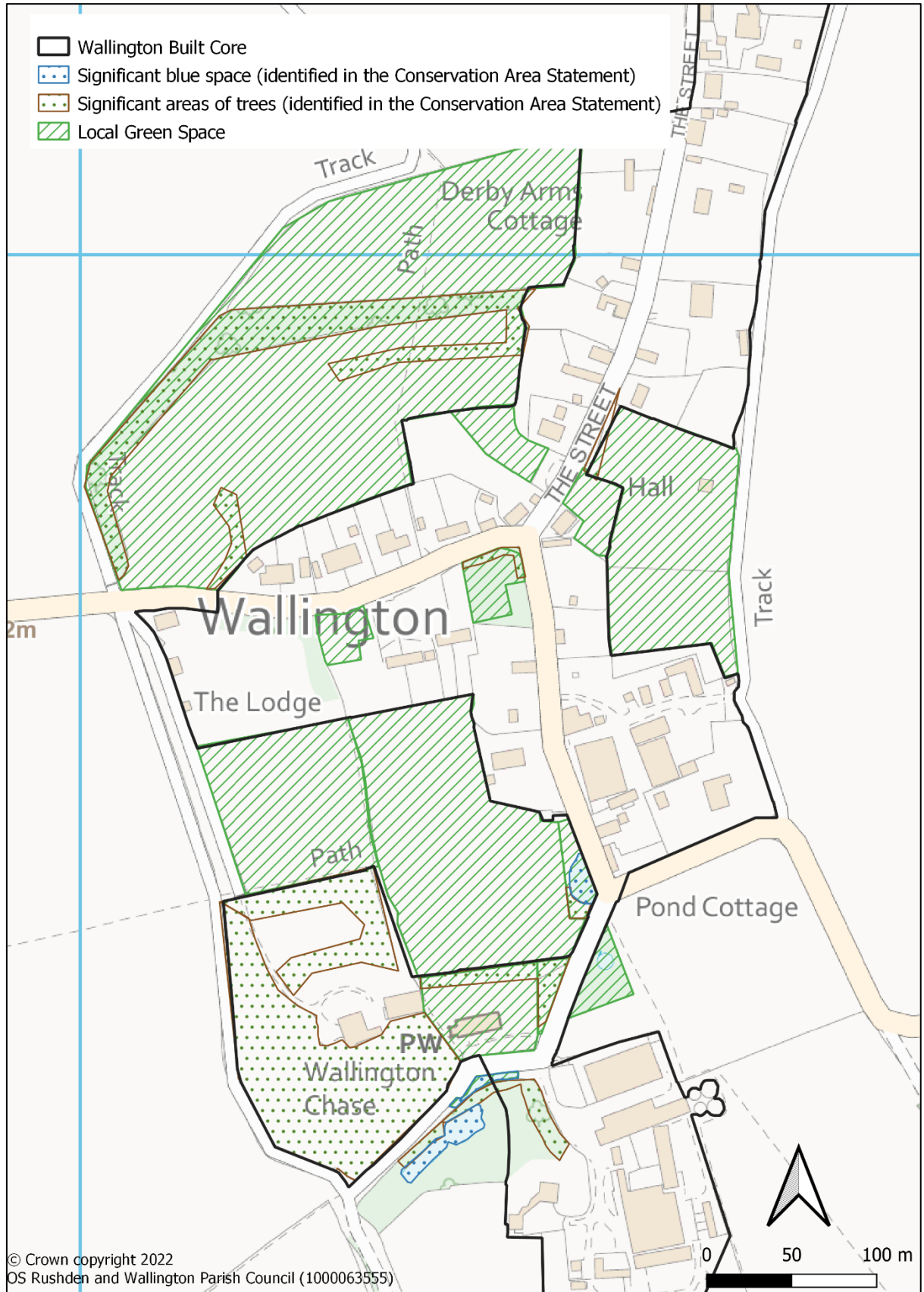


Figure 7.1: Important natural features in the village

POLICY W8: GREEN AND BLUE INFRASTRUCTURE LANDSCAPE FEATURES AND BIODIVERSITY

- A. Development proposals should retain well-established features of the landscape, including ancient woodland, significant trees, species-rich hedgerows, and ponds.**
- B. Development proposals should be designed to create, conserve, enhance and manage green spaces and connect chains of green infrastructure, as identified in Figure 7.1, with the aim of delivering a measurable net environmental benefit for local people and wildlife. As appropriate to their scale, nature and location, development proposals must be supported by a biodiversity appraisal, which must demonstrate how negative impacts would be minimised and biodiversity net gain achieved.**
- C. Development proposals that would improve the connectivity between wildlife areas and green spaces will be supported. Development proposals which would cause unacceptable harm to this connectivity will not be supported.**

Conformity reference: NP Objective: 1; Local Plan: SP10, SP12; NPPF: 174, 175, 179, 180

Policy W9: Local Green Spaces

Purpose

- 7.10 This policy designates 13 sites that are demonstrably special to the local community, as Local Green Spaces. This will safeguard them against inappropriate development.

Justification

- 7.11 Under the NPPF, neighbourhood plans have the opportunity to designate Local Green Spaces which are of particular importance to the local community. This will afford protection from development other than in very special circumstances. Paragraph 102 of the NPPF says that Local Green Spaces should only be designated:

- “where the green space is in reasonably close proximity to the community it serves;
- where the green area is demonstrably special to a local community and holds a particular local significance, for example because of its beauty, historic significance, recreational value (including as a playing field), tranquillity or richness of its wildlife; and
- where the green area concerned is local in character and is not an extensive tract of land.”

Policy W9 follows the matter-of-fact approach in the NPPF on this matter. If development proposals come forward on the local green spaces within the Plan period, they can be assessed on a case-by-case basis by the District Council. It will be able to make an informed judgement on the extent to which the proposal concerned demonstrates the ‘very special circumstances’ required by the policy.

- 7.12 [Planning practice guidance](#) states the following in relation to Local Green Spaces:

- A Local Green Space does not need to be in public ownership.
- If land is already protected by Green Belt policy, then consideration should be given to whether any additional local benefit would be gained by designation as Local Green Space. One potential benefit in areas where protection from development is the norm (eg villages included in the green belt) but where there could be exceptions is that the Local Green Space designation could help to identify areas that are of particular importance to the local community.
- Some areas that may be considered for designation as Local Green Space may already have largely unrestricted public access, though even in places like parks there may be some restrictions. However, other land could be considered for designation even if there is no public access (eg green areas which are valued because of their wildlife, historic significance and/or beauty). Designation does not in itself confer any rights of public access over what exists at present. Any additional access would be a matter for separate negotiation with land owners, whose legal rights must be respected.

- 7.13 When designating Local Green Spaces, it is important to consider what protection is already afforded to an area and whether or not the designation will provide any further safeguard.

- 7.14 The engagement process revealed a series of green spaces that the community wishes to safeguard. The Working Group examined each of these to understand whether they were already adequately protected and, where this was not the case, to what extent they met the NPPF criteria.
- 7.15 The following 13 spaces, which are mapped in Figure 7.2, have been identified for designation, with detail on how they meet the NPPF criteria contained in Appendix F:
1. Mutcheaps Field
 2. The Chase Meadow
 3. Village Hall playground
 4. The Wick
 5. The Park
 6. Plough Paddock
 7. St Mary's Wallington Churchyard
 8. Kitt's Piece
 9. Wallington Village Pond
 10. The Well Pond and surrounding area, including the Church bankside opposite
 11. Carter's/ Parsons Pond
 12. The Spinney
 13. The Common

POLICY W9: LOCAL GREEN SPACES

The following 13 spaces, as shown on Figures 7.2 and 7.3, are designated as Local Green Spaces:

1. **Mutcheaps Field**
2. **The Chase Meadow**
3. **Village Hall playground**
4. **The Wick**
5. **The Park**
6. **Plough Paddock**
7. **St Mary's Wallington Churchyard**
8. **Kitt's Piece**
9. **Wallington Village Pond**
10. **The Well Pond and surrounding area, including the Church bankside opposite**
11. **Carter's/ Parsons Pond**
12. **The Spinney**
13. **The Common**

Development proposals affecting the designated local green spaces will only be supported in very special circumstances.

Conformity reference: NP Objective: 1, 3; Local Plan: SP12; NPPF: 101-103, 147-151

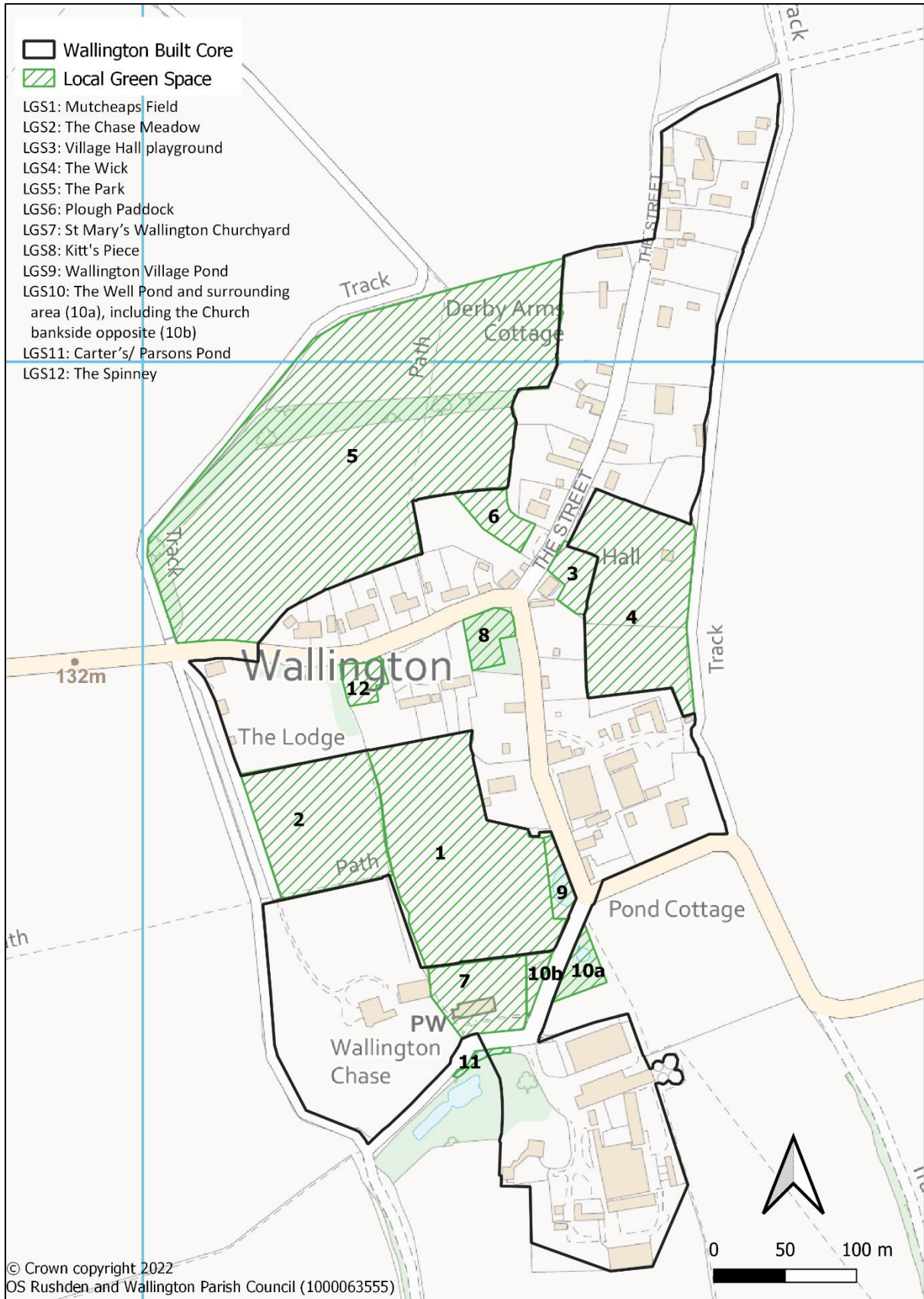


Figure 7.2: Local Green Spaces (LGS1 to LGS12)

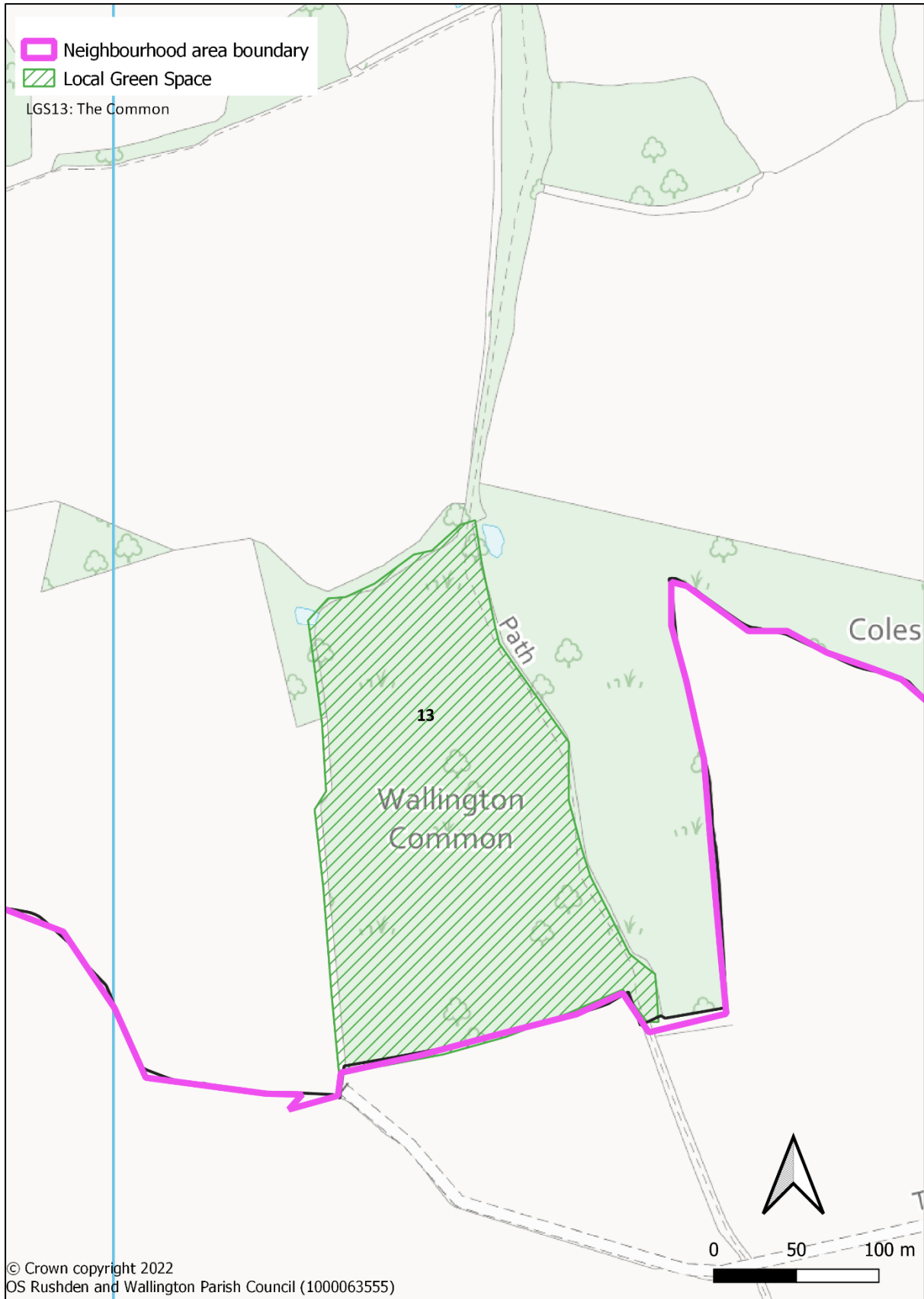


Figure 7.3: Local Green Spaces (LGS13)

8 RURAL ECONOMY

Policy W10: Rural enterprise

Purpose

- 8.1. This policy recognises the existing and potential contribution of home-based and small-to-medium sized businesses to Wallington and seeks to encourage opportunities for them. This includes supporting the provision of start-up business units in appropriate areas. This would provide a greater incentive and opportunity for local people to work locally. Homeworking too has become more common-place for many since the Covid-19 pandemic.

Justification

- 8.2. There are few employment opportunities within the neighbourhood area, which means that local residents either have to seek work elsewhere or work from home. Engagement undertaken to inform the neighbourhood plan found that there was support for small-scale development of small, flexible units, which could make use of redundant buildings. The most obvious source of these is disused farm buildings, of which there are several in the area. The WNP seeks to support rural businesses recognises the need for flexibility in the use of existing buildings, where this can be achieved sympathetically to the character of the area and without adding pressures to the minor road network.



There is a scattering of farms in Wallington

- 8.3. Homeworking is also becoming a more realistic option for many, following the changes to working patterns accelerated by the Covid-19 pandemic. Opportunities for homeworking could make the village a more viable option for those seeking to move to the area, in turn supporting the 'life-cycle' of Wallington. The village has had fast fibre broadband since 2020 and it is adequate for homeworking and small scale artisan businesses.

POLICY W10: RURAL ENTERPRISE

- A. Insofar as planning permission is required, development proposals that provide working spaces which encourage homeworking and creative small businesses will be supported including:**
- i. The conversion of existing buildings, including farm buildings, in the neighbourhood area;**
 - ii. enabling extensions and appropriately-sized garden offices to facilitate home-working;**
 - iii. enabling microbusinesses; and**
 - iv. the provision of start-up businesses by enabling low-cost facilities in cooperative clusters.**
- B. As appropriate to their scale, nature and location, proposals for new workspaces should demonstrate the way in which they can be incorporated within their immediate locality in a way that is sympathetic to the local built and natural character and without generating any unacceptable impact on the amenity of residential properties and on the capacity and safety of the local highways network.**

Conformity reference: NP Objective: 5; Local Plan: SP3; NPPF: 81, 84, 85

9 IMPLEMENTATION AND PLAN REVIEW

- 9.1. The Parish Council is the official qualifying body responsible for the Neighbourhood Plan.
- 9.2. Once the Plan has been ‘made’, there are a series of actions that will need to be undertaken to ensure that the policies within the Neighbourhood Plan are being interpreted and used in the way intended. It will also be necessary to maintain a watching brief on changes to the planning policy landscape, both at the national and local planning authority levels, which may have an impact on the plan’s policies. Finally, the non-planning policy projects and activities will need to be prioritised for delivery, in partnership with other organisations.
- 9.3. Specific actions that will need to be undertaken are as follows:
- Pursuing the Non-Policy Actions detailed in Section 11 of this document – a range of organisations may be involved in delivering these and there will be need for a co-ordinated approach. Many will require funding and therefore it would be helpful to consult with the community to understand which are priorities and the potential costs and achievability of each. Funding may be sourced from developer contributions or tailored funds, such as the Big Lottery Fund.
 - Commenting on planning applications or consultations relating to the Neighbourhood Plan area – the Parish Council has a role in ensuring that the Neighbourhood Plan policies are being adequately considered, where relevant, in decisions to determine the outcome of planning applications in the Parish. A meeting between local councillors, planning committee members and the supporting planning officers at NHDC would be a useful step in ensuring that the purpose and application of the policies is fully understood. This will assist in ensuring that policies are interpreted and applied in the way intended.
 - Monitoring the application of the Neighbourhood Plan policies to ensure they have been applied consistently and interpreted correctly in response to planning applications – there may be scope to identify indicators to measure the effect that each policy is having and the extent to which this is delivering against the associated objective. The Parish Council maintains a log of planning applications relating to the Parish, and this should detail which Neighbourhood Plan policies have informed the Parish response and the outcome of the decision. This will assist in understanding whether the policies have been used in the manner intended or whether changes may be required, for instance in any future review of the Neighbourhood Plan.
 - Maintaining a dialogue with NHDC regarding the timing and content of the emerging Local Plan – it will be important to consider the policies in the emerging document and how these may impact the Neighbourhood Plan policies. The adoption of the Local Plan may trigger a light-touch review of the Neighbourhood Plan.
 - Maintaining a watching brief on the national policy landscape – changes at the national level may impact on the policies contained in the Local Plan and the Neighbourhood Plan. It is therefore important to keep abreast of this, as this could also provide a trigger to undertake a light-touch review of the Neighbourhood Plan.

- Maintaining a dialogue with the local community on the plan implementation – ensuring that all records of how the plan has been used should be made public. It is also recommended that a regular update – for instance at the Annual Parish Meeting – is provided, to feed back to the community on progress about both the effectiveness of the policies and the pursing of the projects. Such a report might also be embedded into NHDC's Authority Monitoring Report, to illustrate how the Neighbourhood Plan is contributing to the delivery of strategic policy.
- Considering gaps in the Neighbourhood Plan – local issues, concerns or opportunities may arise during the lifespan of the Plan that trigger the need for the inclusion of a new policy. Such issues can be most effectively understood by maintaining open dialogue with the community and other partners.

9.4. Whilst it is not a legislative requirement to review a Neighbourhood Plan, it is good practice to do so periodically. This may be because of any of the points noted above. A light-touch review will enable the Parish Council to keep the Neighbourhood Plan up to date in general terms, and to ensure that it remains in general conformity with the wider development plan. In this context, it could consider a review of the neighbourhood plan within six months of the adoption of the new Local Plan. Any review should be undertaken in partnership with and ensuring the engagement of the wider community.

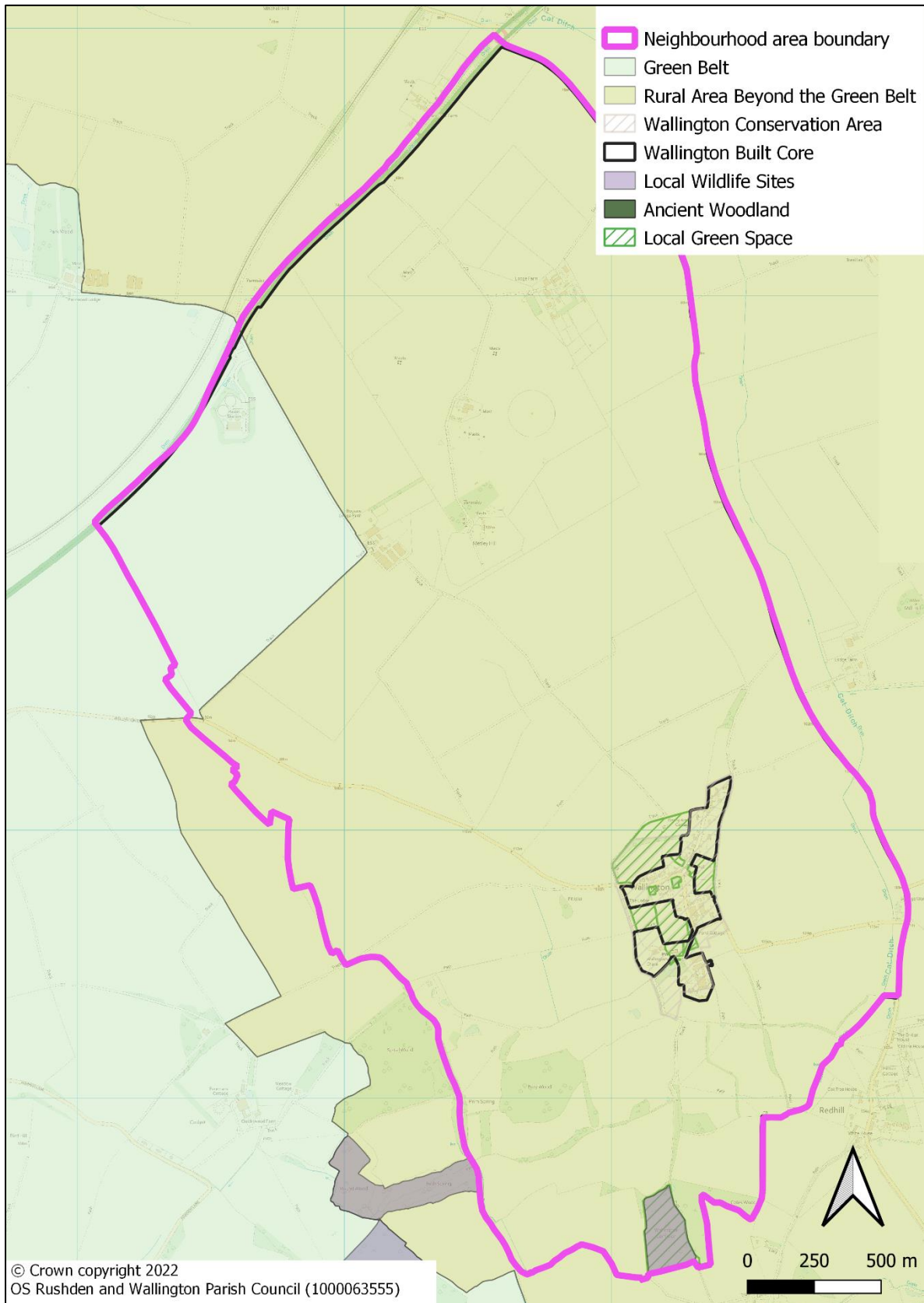
10 INFRASTRUCTURE IMPROVEMENTS AND PROVISION

- 10.1 The Parish Council is keen to influence the way in which any developer contributions or other funds are spent in the neighbourhood area to the full extent of its powers under national legislation and planning guidance.
- 10.2 There are different types of contributions arising from section 106 agreements, section 278 agreements and the Community Infrastructure Levy (CIL):
- A section 106 agreement (based on that section of the 1990 Town & Country Planning Act) or planning obligation is a private agreement made between local authorities and developers and can be attached to a planning permission to make acceptable a development which would otherwise be unacceptable in planning terms.
 - A section 278 agreement refers to a section of the Highways Act 1980 that allows developers to enter into a legal agreement with the local authority to make alterations or improvements to an existing public highway as part of a planning application.
 - The Community Infrastructure Levy (CIL) is a non-negotiable charge on development based on a fixed rate per square metre of net additional development on a site. It is levied by the District Council, [although NHDC has agreed not to pursue it for the time being](#), so it is not yet applicable to development in Wallington. If it were to be introduced, different charge rates would apply for different types of uses and in different areas. The resulting funds could be put towards the provision, improvement, replacement or maintenance of infrastructure required to support development in the area. With a 'made' (adopted) Neighbourhood Plan, the local community would benefit from an uplift in the level of CIL received, from 15% (capped at £100 per existing property) to an uncapped 25% of CIL receipts from the Wallington Neighbourhood Area.
- 10.3 An additional action therefore is for the Parish Council to set out a Spending Priority Schedule for developer contributions and other funds available to the parish to be spent on. There will be a commitment within this to ensuring that any developer contributions (as defined above) are used within the parish as far as possible to benefit the community hosting the development and to mitigate impacts of that development.
- 10.4 The Parish Council will regularly review its spending priorities. Any proposed changes to spending principles or priorities will be published for comment by the community and other interested parties. Once finalised, any updated list will be published on the Parish Council website and in relevant literature.

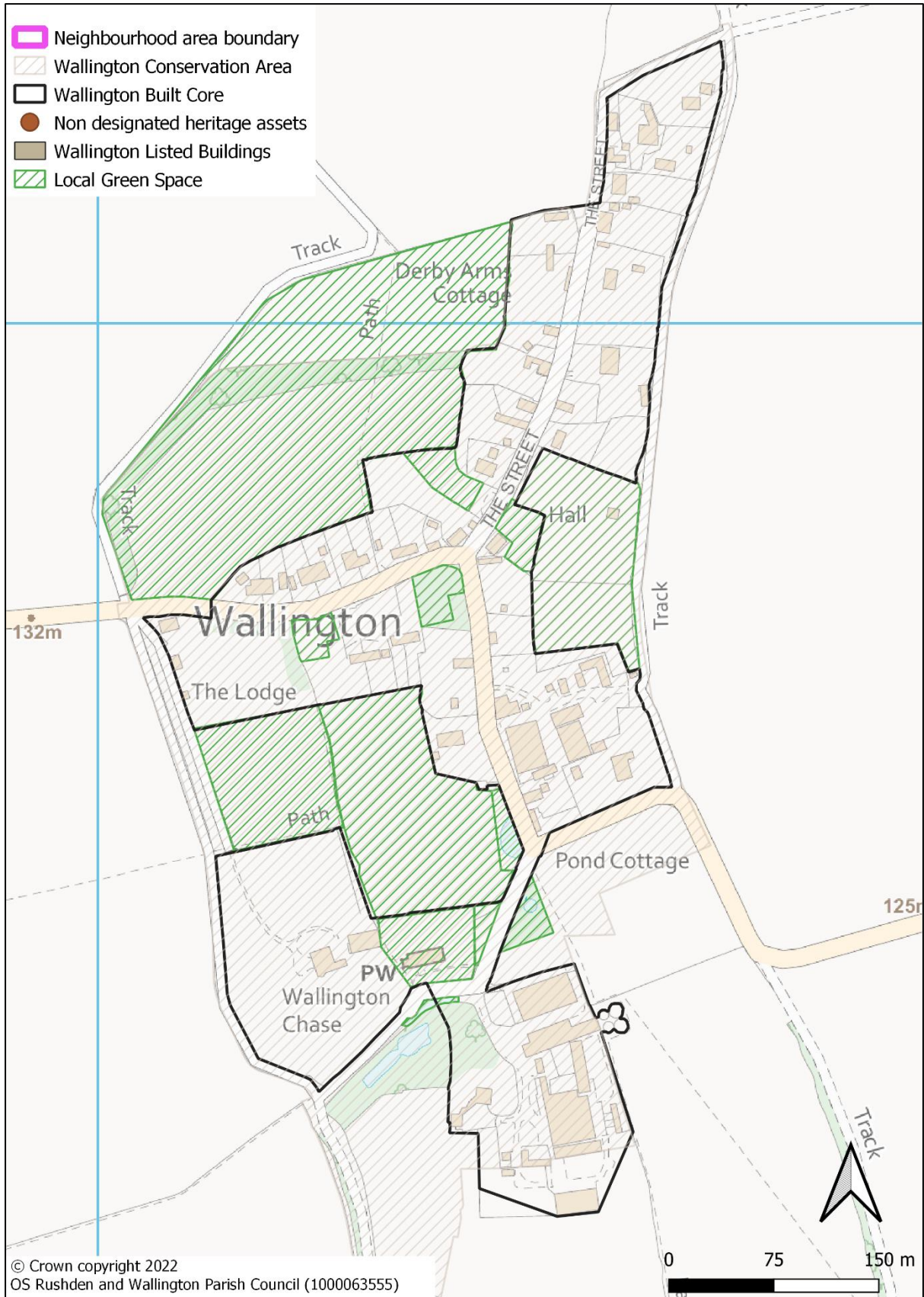
11 NON-POLICY ACTIONS

Ref	Issue	Possible actions	Lead agencies and partners
1.	Monitor the effectiveness of the policies contained in the Plan.	<p>Meeting with district planning officers and planning committee members to discuss how the policies should be applied in practice.</p> <p>Regular monitoring of applications coming into the parish and utilising the policies to inform comments from the parish council.</p> <p>Reviewing decisions taken and how the policies were interpreted – this could include the development of a set of key performance indicators for each NP policy, in order to measure effectiveness.</p>	Parish Council, NHDC
2.	Consider local housing needs in the parish	Regularly update the Local Housing Needs Survey which, in combination with the housing list maintained by NHDC, will provide evidence to inform Policy W2.	Parish Council, NHDC, Housing Association
3.	Identify opportunities to improve the contribution of buildings and structures to local character	<p>Maintain a directory of historic assets that are potentially 'at risk' and consider how they can be better conserved.</p> <p>Several buildings in the village have roof forms, or other features indicative of former thatching, such as disproportionately high chimneys, steep roofs with half-hips or catslide extensions. Research should be encouraged to identify such buildings and potentially to encourage the reintroduction of long-straw thatching for roof replacement when the need arrives.</p>	Parish Council, private owners, NHDC, Historic England
4.	Encourage more participation in village life	Promotion of local events and activities, including social media, newsletters. Consider running new activities. Explore with families options for teenage activities.	Parish Council, local community groups
5.	Reducing reliance on cars for journeys	Explore options to introduce car sharing schemes. Potential to explore enhanced community bus scheme to complement the HertsLynx on-demand bus service available. The Parish Council were involved in getting three official stops included on the initial route launch.	Parish Council, local transport providers
6.	Lack of village shop	Explore appetite for and opportunities to introduce a community shop.	Parish Council, local community

12 POLICIES MAPS



Policies map – Neighbourhood area-wide



Policies Map - inset

13 GLOSSARY

- **Affordable housing:** Housing for sale or rent, for those whose needs are not met by the market (including housing that provides a subsidised route to home ownership and/or is for essential local workers); and which complies with one or more of the following definitions:
 - a) Affordable housing for rent: meets all of the following conditions: (a) the rent is set in accordance with the Government's rent policy for Social Rent or Affordable Rent, or is at least 20% below local market rents (including service charges where applicable); (b) the landlord is a registered provider, except where it is included as part of a Build to Rent scheme (in which case the landlord need not be a registered provider); and (c) it includes provisions to remain at an affordable price for future eligible households, or for the subsidy to be recycled for alternative affordable housing provision. For Build to Rent schemes affordable housing for rent is expected to be the normal form of affordable housing provision (and, in this context, is known as Affordable Private Rent).
 - b) Starter homes: now discontinued as a policy.
 - c) Discounted market sales housing: is that sold at a discount of at least 20% below local market value. Eligibility is determined with regard to local incomes and local house prices. Provisions should be in place to ensure housing remains at a discount for future eligible households. Note that First Homes has been introduced as a new discounted market sales product.
 - d) Other affordable routes to home ownership: is housing provided for sale that provides a route to ownership for those who could not achieve home ownership through the market. It includes shared ownership, relevant equity loans, other low cost homes for sale (at a price equivalent to at least 20% below local market value) and rent to buy (which includes a period of intermediate rent). Where public grant funding is provided, there should be provisions for the homes to remain at an affordable price for future eligible households, or for any receipts to be recycled for alternative affordable housing provision, or refunded to Government or the relevant authority specified in the funding agreement.
- **Ancient or veteran tree/tree of arboricultural value:** A tree which, because of its age, size and condition, is of exceptional biodiversity, cultural or heritage value. All ancient trees are veteran trees. Not all veteran trees are old enough to be ancient, but are old relative to other trees of the same species. Very few trees of any species reach the ancient life-stage.
- **Archaeological interest:** There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
- **Built core:** The area within the village of primarily built form, rather than countryside. It is within the built core that infilling would be considered most appropriate.
- **Change of Use** - A change in the way that land or buildings are used (see Use Classes Order). Planning permission is usually necessary to change a "use class".
- **Community Infrastructure Levy (CIL):** a fixed, non-negotiable contribution that must be made by new development. It is chargeable on each net additional square metre of development built and is set by NHDC, if implemented.

- **Conservation (for heritage policy):** The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.
- **Conservation area** - an area of notable environmental or historical interest or importance which is protected by law against undesirable changes.
- **Designated heritage asset:** A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area designated under the relevant legislation.
- **Green infrastructure:** A network of multi-functional green space, urban and rural, which is capable of delivering a wide range of environmental and quality of life benefits for local communities.
- **Heritage asset:** A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).
- **Infill:** The development of a relatively small gap between existing buildings, normally no more than two units.
- **Local Plan:** Local Plans set out a vision and a framework for the future development of the area, addressing needs and opportunities in relation to housing, the economy, community facilities and infrastructure – as well as a basis for safeguarding the environment, adapting to climate change and securing good design for the area they cover. They are a critical tool in guiding decisions about individual development proposals, as Local Plans (together with any Neighbourhood Development Plans that have been made) are the starting-point for considering whether applications can be approved. It is important for all areas to put an up to date Local Plan in place to positively guide development decisions.
- **Local planning authority:** The public authority whose duty it is to carry out specific planning functions for a particular area. All references to local planning authority include the district council, London borough council, county council, Broads Authority, National Park Authority, the Mayor of London and a development corporation, to the extent appropriate to their responsibilities.
- **National Planning Policy Framework (NPPF)** – the national planning policy document which sets out the Government’s planning policies for England and how these are expected to be applied.
- **Non-strategic policies:** Policies contained in a neighbourhood plan, or those policies in a local plan that are not strategic policies.
- **Older people:** People over or approaching retirement age, including the active, newly-retired through to the very frail elderly; and whose housing needs can encompass accessible, adaptable general needs housing through to the full range of retirement and specialised housing for those with support or care needs.
- **Previously developed land/ brownfield land:** Land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure.
- **Section 106 agreement** - A mechanism under Section 106 of the Town and Country Planning Act 1990 which makes a development proposal acceptable in planning terms that would not otherwise be acceptable.

- **Self-build and custom-build housing:** Housing built by an individual, a group of individuals, or persons working with or for them, to be occupied by that individual. Such housing can be either market or affordable housing. A legal definition, for the purpose of applying the Self-build and Custom Housebuilding Act 2015 (as amended), is contained in section 1(A1) and (A2) of that Act.
- **Strategic environmental assessment:** A procedure (set out in the Environmental Assessment of Plans and Programmes Regulations 2004) which requires the formal environmental assessment of certain plans and programmes which are likely to have significant effects on the environment.
- **Supplementary Planning Documents (SPD)** - Supplementary Planning Documents may cover a range of issues, both topic and site specific, which may expand policy or provide further detail to policies contained in a Development Plan Document, where they can help applicants make successful applications or aid infrastructure delivery.
- **Wildlife corridor:** Areas of habitat connecting wildlife populations.
- **Windfall sites:** Sites not specifically identified in the development plan.

14 LIST OF EVIDENCE DOCUMENTS

All documents are available to view on the Wallington and Rushden Parish Council website:

Document website addresses correct at March 2023:

Document/ Evidence	Author	Year
<u>A 50-year vision for the wildlife and natural habitats of Hertfordshire. A Local Biodiversity Action Plan</u>	Hertfordshire Environmental Forum	1998 (amended 2006)
<u>Ancient tree guide 4: What are ancient, veteran and other trees of special interest?</u>	Woodland Trust	2008
<u>Biodiversity metric</u>	Defra	2021
<u>Building for a Healthy Life</u>	Design for Homes/ Homes England	2020
<u>Census</u>	Office for National Statistics	2011 (2021 where data available)
<u>Climate Change Act 2008</u>	HM Government	2008
<u>Developer Contributions Supplementary Planning Document</u>	NHDC	2023
<u>District Local Plan No.2 With Alterations</u>	NHDC	1996
<u>Environment Act 2021</u>	HM Government	2021
<u>Heritage at Risk Register</u>	Historic England	ongoing
<u>Hertfordshire County Council Monument Full Report</u>	Hertfordshire County Council	2021
<u>Historic Environment Record</u>	Hertfordshire County Council	ongoing
<u>Housing our Ageing Population Panel for Innovation (HAPPI)</u>	Housing LIN	2012
<u>Housing Standards Review</u>	HM Government	2012 (and amended)
<u>List of finds from Wallington registered with the Portable Antiquities Scheme</u>		2021
<u>Listed buildings in Wallington</u>	British Listed Buildings	No date
<u>Local Plan 2011 to 2031: Submission version</u>	NHDC	October 2016
<u>Localism Act 2011</u>	HM Government	2011
<u>National Heritage List for England (NHLE)</u>	Historic England	ongoing
<u>National Planning Policy Framework (amended July 2021)</u>	HM Government	Amended 2021
<u>Neighbourhood Development Planning Regulations 2012 (as amended)</u>	HM Government	2012
<u>North Herts and Stevenage Landscape Character Assessment</u>	NHDC	2011
<u>Planning and Compulsory Purchase Act 2004</u>	HM Government	2004
<u>Schedule of Further Proposed Modifications to the North Hertfordshire Local Plan 2011-2031</u>	NHDC	2021
<u>Town and Country Planning Act 1990</u>	HM Government	1990

Document/ Evidence	Author	Year
<u>Vehicle Parking at New Development Supplementary Planning Document</u>	NHDC	2011
<u>Wallington Conservation Area Character Statement</u>	NHDC	2019
Wallington Design Guidelines and Codes	WPC	2021

Appendix A – Profile of the Neighbourhood Area

Wallington Neighbourhood Plan 2022-2031



Neighbourhood Area Profile

Prepared May 2022, amended March 2023

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1. Introduction

- 1.1. Wallington is a small Hertfordshire village located approximately three miles to the east of Baldock and roughly equidistant from Stevenage to the south west and Royston to the north east. It shares a parish council with neighbouring village, Rushden, but remains a separate parish.
- 1.2. The parish sits within some of the highest quality countryside in north Hertfordshire, comprising three landscape character areas: the Wallington Scarp slopes; the Weston–Green End Plateau; and the North Baldock Chalk uplands. Much of the parish is characterised by chalky boulder clay woodlands and meadows, which provide an important habitat for a range of species including the stone curlew, a national Red List species of bird, and the spotted fly-catcher. The far west of the area lies within Green Belt, protecting against coalescence with Baldock.
- 1.3. The parish is home to approximately 150 residents living in 54 dwellings. There is a village hall and playground, a church and a small triangular village green with well, and two further pond areas one adjacent to the junction of the Street and Church Lane and the second opposite to the church and sometimes known as Carter’s or Parson’s Pond ; ; these community spaces enable a lively community scene, with a variety of activities and events taking place across the calendar. First recorded in Domesday as ‘Wallington’, the settlement has evolved from a predominantly agricultural base, with a number of working farms still operating today. The author George Orwell lived in a small cottage at no. 2 Kits Lane, then known as The Stores, in the village from 1936 to 1940. Orwell wrote his notable book Animal Farm in 1944, inspired by local landmarks, Bury Farm and The Great Barn.
- 1.4. The boundary of the village has changed little in the last century with very few new houses being built in recent decades. However, the housing stock has changed significantly from provision of farm labourers cottages to more substantial detached and semi-detached properties. This has been by way of transforming multiple smaller semi-detached and terraced cottages into more substantial single family homes.
- 1.5. The entire village and most of the farm buildings in and around Wallington Bury, to the south of the church, is located within the Wallington Conservation Area, designated in 1969. The Church of St Mary is a Grade II Listed Building lying at the southern end of the village. The nave, west tower and windows date from the mid-15th Century. There are a further 18 nationally listed heritage assets as well as some locally important ones, such as The Old Post Office on The Street.
- 1.6. Wallington benefits from a network of footpaths and bridleways. The Icknield Way Path, noted as the oldest road in Britain, passes through the village on its 110-mile journey from Ivinghoe Beacon in Buckinghamshire to Knettishall Heath in Suffolk, as does the Hertfordshire Way one of the county’s more important walking and leisure routes.
- 1.7. To inform the emerging Neighbourhood Plan, it is helpful to prepare a detailed profile of the neighbourhood area. This profile includes statistical information about the local population, economy, housing and health. It also sets out the strategic planning context within which Wallington sits and findings from the community engagement to date, in order to set out the challenges and opportunities facing Wallington and how these might be addressed through the

neighbourhood plan. This will provide the Working Group exploring the various topics with a starting point from which to gather additional evidence.

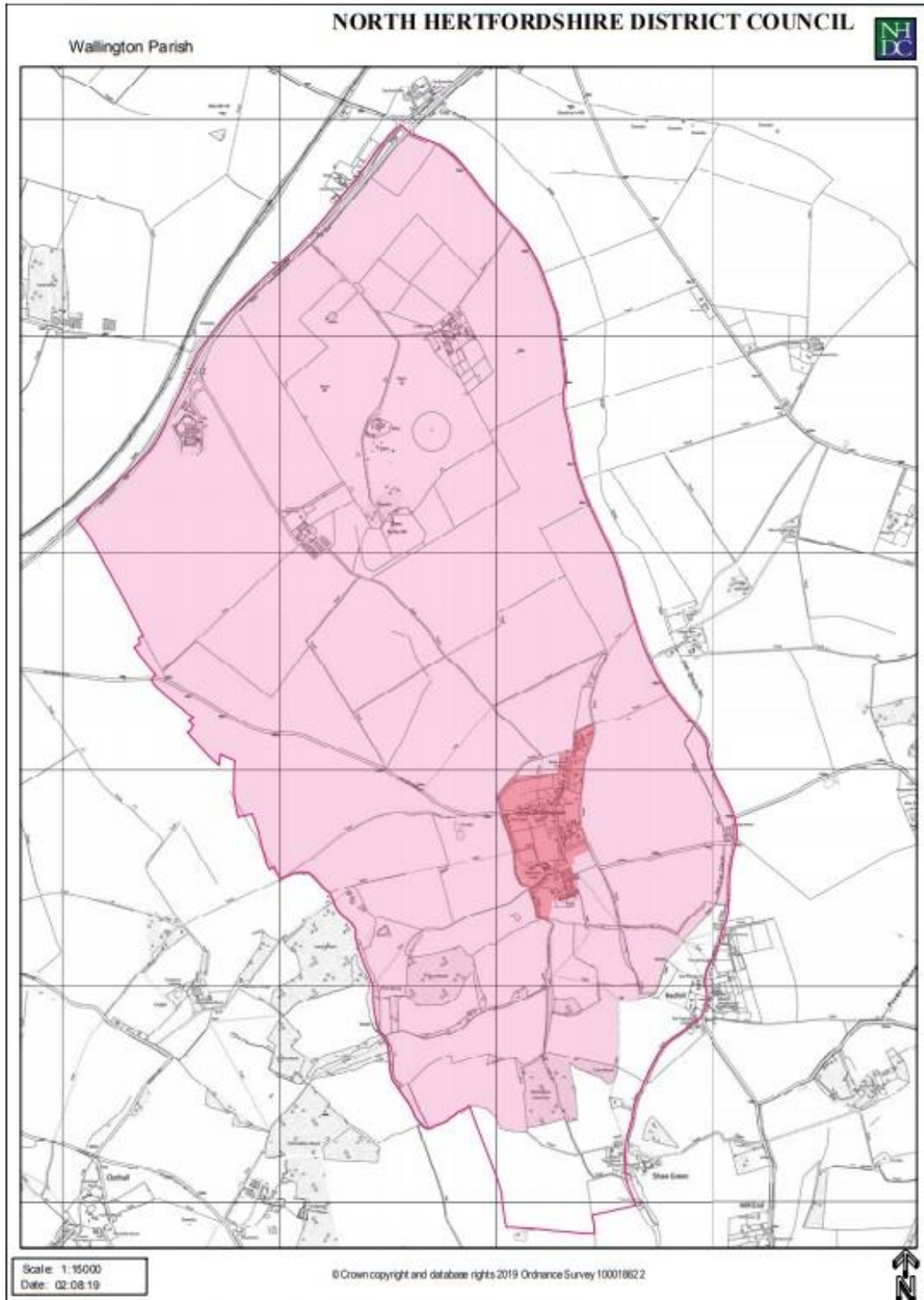


Figure 1.1: Neighbourhood Plan Area

2. Challenges and Opportunities for Wallington

2.1. In October 2020, the local community was invited to submit their views on the parish in terms of what they liked and what might be improved. The findings are presented below.

<p>Strengths – what is good?</p> <ul style="list-style-type: none"> • Rural Setting – beautiful scenery, peaceful, quiet, tranquil, accessible countryside, pretty, rustic. • Sense of community - Quite sociable, coffee mornings, Village Hall events, friendly community. • Generally low traffic. • Wildlife friendly green spaces and features within the village boundary – pond, spinney, trees. • Footpaths, good walks. • Bus shelter. • Friendly scale of the village, rustic charm. • The village feels safe. • Rich history - George Orwell, Church, churchyard. • The character of the village – colours, materials. • Grazing farm animals. • Village Hall and play area as a focal point. • Exclusivity of the village (house sizes and prices) 	<p>Weaknesses – What is not so good?</p> <ul style="list-style-type: none"> • Housing – cost; very few suitable properties available for young families • No services. • Isolated. • Not much interaction from newer residents with existing residents. • Poor maintenance of drainage by council. • Traffic - being used as a rat run, lorries, speeding cars, A505 diversions, cars parked in the road. • Poor transport links - no public transport. When we get older and can't drive we can't go anywhere. • Dog poo, feral cats. • Diversity of community. • Newer developments looking out of character. • Vandalism at Well Pond. • Arkin?
<p>Opportunities – what could we improve?</p> <ul style="list-style-type: none"> • More diverse population - It's all good in Wallington but some new blood would make it even better; more young families/growing up children. • More community involvement, e.g. helping with the fetes; more social events. • Better local services – a shop, boulangerie, • Less potholes on roads leading to village. • Social housing/ affordable houses; housing to attract younger people and those from different socio-economic groups. • More smaller homes, inc. for downsizers. • Less litter. • Ensure all new housing reflects local character – e.g. Wallington houses. • Preference to develop brownfield sites/ convert barns. • Volunteer-run shop. 	<p>Threats – what do we need to look out for?</p> <ul style="list-style-type: none"> • Traffic and rat-running will worsen as a result of surrounding developments. • Impact of (mass) development nearby. • Development overpowering the village – prefer smaller developments. • Affordable housing not truly affordable. • Erosion of character. • Infill development. • Loss of special views. • Intrusion on privacy. • Lack of infrastructure – mobile service. • Lack of homes for those with a connection to the village. • Noise associated with business units. • Need to ensure we involve teenagers. • Involvement from those not living in the village in the Working Group. • Social housing.

<ul style="list-style-type: none">• Opportunities for small industry/ business units (crafts?) in old farm buildings – also for homeworkers.• Protection for our green spaces.• Additional facilities - could we provide a bowls/tennis/social club/ petanque/ badminton/ table tennis?• Enhance wildlife conservation.• Opportunities for additional parking, e.g. at the farm area.	
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2.1. Section 4 of this report contains detailed statistics about the area.

3. Strategic Context

National Planning Policy

- 3.1 The policies of the Neighbourhood Plan will need to be in general conformity with the National Planning Policy Framework (NPPF), which was most recently revised in July 2021. This states the following about Neighbourhood Planning at paragraphs 29 and 30:

“Neighbourhood planning gives communities the power to develop a shared vision for their area. Neighbourhood plans can shape, direct and help to deliver sustainable development, by influencing local planning decisions as part of the statutory development plan. Neighbourhood plans should not promote less development than set out in the strategic policies for the area, or undermine those strategic policies¹.

Once a neighbourhood plan has been brought into force, the policies it contains take precedence over existing non-strategic policies in a local plan covering the neighbourhood area, where they are in conflict; unless they are superseded by strategic or non-strategic policies that are adopted subsequently.”

Local Planning Policy

- 3.2 Wallington falls within the North Hertfordshire District Council (NHDC) area and all Neighbourhood Plan policies must be in general conformity with its strategic planning policies. The current Development Plan for NHDC consists of the following documents:

- North Hertfordshire Local Plan 2011 to 2031 (adopted November 2022)
- [The Waste Site Allocations Development Plan Document 2011-2026](#) (adopted July 2014)
- [The Waste Core Strategy & Development Management Policies Development Plan Document 2011-2026](#) (adopted November 2012)
- [The Minerals Local Plan 2002-2016](#) (adopted March 2007)
- Made Neighbourhood Plans in the District

- 3.3 The adopted documents are also supported by the following Supplementary Planning Documents:

- The Employment Land Areas of Search Supplementary Planning Document (adopted November 2015)
- The Minerals Consultation Areas Supplementary Planning Document (adopted November 2007)

The Local Plan

- 3.4 Policy SP2 (Settlement Hierarchy and Spatial Distribution) of the emerging Local Plan seeks to deliver a minimum of 11,500 net new homes, and at least 30.5ha of B-class employment space and

¹ Neighbourhood plans must be in general conformity with the strategic policies contained in any development plan that covers their area.

associated sui-generis uses, across the District over the period 2011 to 2031. Approximately 80% of housing delivery is proposed to be focussed to the larger settlements, 11% to villages identified for growth, and the remainder to smaller villages.

- 3.5 Wallington falls within this 11% and is classified as a Category B village in the Local Plan, where limited infilling development, which does not extend the built core of the village, will be supported. This is a new categorisation for Wallington and the implications of this on housing development in the village are not yet known. It is one of the reasons why this neighbourhood plan is essential at this time. There are no sites allocated in the emerging local plan for Wallington. Two new homes have been built or granted planning permission since 2011.
- 3.6 The Neighbourhood Plan began development prior to the adoption of the Local Plan. At the start of the process, the emerging Local Plan policies were considered so that the scope of the Neighbourhood Plan could be considered.
- 3.7 A copy of the initial opportunities based on that early analysis is recorded below. As the Local Plan has now been adopted, the Neighbourhood Plan policies have been reviewed accordingly to ensure that they align.

Opportunities for the Neighbourhood Plan – early scoping exercise

Emerging Local Plan Policy	What it seeks to achieve	Scope for Wallington Neighbourhood Plan	Relevant evidence
SP2: Settlement Hierarchy	<p>The emerging Local Plan seeks to identify Wallington as a Category B village and Infilling development which does not extend the built core of the village will be allowed.</p> <p>The Local Plan does not, however, define a settlement boundary or the extent of the built core. The Council believes it should be possible to assess on a case-by-case basis whether a site is in the built core. However, that may be something that affected communities wish to</p>	<ul style="list-style-type: none"> To set out a localised Spatial Strategy setting out where the 'built core' of Wallington is. Within this area, limited infill would be feasible (potentially to include the farm site/s). 	<ul style="list-style-type: none"> Design Codes/ Character Study. Estimated population: 118 in 2031 (down from 159 in 2001) Aging population so a need to consider the impacts on design and provision of local facilities. Also note changing ways in working (e.g. more remote) combined with Fibre Broadband now introduced to the village. This has made a significant difference to the existing residents but will also make Wallington much more attractive to prospective house buyers, particularly those of a working age and with children.

Emerging Local Plan Policy	What it seeks to achieve	Scope for Wallington Neighbourhood Plan	Relevant evidence
	explore through neighbourhood plans.		
SP3: Employment	Focuses activity to the larger settlements and strategic allocations. ETC2 safeguards existing employment unless certain criteria are met. ETC8 supports tourism-related development in rural areas, where a case can be made.	<ul style="list-style-type: none"> • Scope to consider what could assist existing employment in the area, including home workers. • Is there a need/support for tourism-related activity locally? 	<ul style="list-style-type: none"> • Local survey feedback.
SP4: Towns and Local Centres	Supports the retention and provision of shops outside of identified centres where they serve a local need. ETC7 sets out criteria in more rural areas.	<ul style="list-style-type: none"> • Identify any facilities or shops to continue to support and/or consider any facilities that might be needed. • Identify if any of the public houses or other local facilities might be listed as an Asset of Community Value. 	<ul style="list-style-type: none"> • Local survey feedback. • Could a local shop be supported or subsidised? • Would a community pub owned and run by the residents be a commercially viable option (Moon & Stars being a community asset)
SP5: Countryside and Green Belt	Retaining Green Belt and its purposes (where amendments have not been identified) and operating a general policy of restraint in Rural Areas beyond the Green Belt. This recognises the fact that, in terms of intrinsic character and beauty, the rural area contains some of the highest quality countryside in the District.	<ul style="list-style-type: none"> • The Neighbourhood Plan could consider mapping its Green Infrastructure network and features of the countryside that are typical of the area and should be protected. • It should seek to ensure a net gain in biodiversity. • It could also identify Local Green Spaces. 	<ul style="list-style-type: none"> • Survey of potential Local Green Spaces. • Green Infrastructure Plan. • Design Codes/ Character Study.

Emerging Local Plan Policy	What it seeks to achieve	Scope for Wallington Neighbourhood Plan	Relevant evidence
	<p>CGB1 allows infill within the 'built core'.</p> <p>CGB2 sets out broad criteria for Exception Sites.</p> <p>CGB3 supports rural worker's dwellings.</p> <p>CGB4 allows for the re-use, replacement or extension of rural buildings.</p>	<ul style="list-style-type: none"> • Define the 'built core' for Wallington. • Can you expand on the criteria for Exception Sites, to make it more locally specific? 	
<p>SP6: Sustainable Transport</p>	<p>Protecting Rights of Way and encouraging sustainable modes of transport</p>	<ul style="list-style-type: none"> • Measures to support non-polluting modes of transport. • Linkages and improvements to the Prow network. • Public transport – the weekly bus service was withdrawn several years ago. <p>Do we need to include requirement for in plan or consider car sharing schemes?</p>	<ul style="list-style-type: none"> • Map our Prow network and set out where improvements needed. • Opportunities for improved parking access to properties, which could be designed to reflect the rural character of the area, avoiding extensive use of modern brick retaining walls, reducing hard surfacing and ensuring visibility splays are in character with surrounding property boundary treatments.
<p>SP8: Housing</p>	<p>A need to deliver 14,000 homes between 2011 and 2031.</p> <p>HS1: No target provided for Wallington.</p> <p>HS2: Sets out Affordable Housing criteria.</p> <p>HS3: Housing Mix expectations</p>	<ul style="list-style-type: none"> • One home has been delivered in the area since 2011. This could link to the Spatial Strategy and a policy setting out design criteria for any windfall. • Do we want to set out how affordable housing/ housing mix relates to the area – based on findings of the Local Housing Needs Survey. 	<ul style="list-style-type: none"> • Housing Needs Assessment. • Housing Needs Survey.

Emerging Local Plan Policy	What it seeks to achieve	Scope for Wallington Neighbourhood Plan	Relevant evidence
SP9: Design and sustainability	Good design being integral to sustainable development. D1: sets out specific criteria	<ul style="list-style-type: none"> An opportunity to set out what is meant by 'local context' in Wallington, in order to provide design and character criteria for any new development proposals. This will take its detail from the Character/Design work being undertaken. 	<ul style="list-style-type: none"> Design Codes/ Character Study. Reintroduction of long-straw thatching for roof replacement when the need arrives
SP10: Healthy Communities	Supporting existing and new facilities to support healthy, inclusive communities, including green spaces. HC1: sets out the need to deliver against an identified community need	<ul style="list-style-type: none"> Potential to identify existing facilities that should be safeguarded and opportunities to enhance these. Identify potential Assets of Community Value. 	<ul style="list-style-type: none"> Local survey feedback. In the last few years c. £10k has been spent on new play equipment. Also the Village Hall windows and heating have been replaced and the hall completely redecorated.
SP11: Natural Resources and Sustainability	Addressing the challenges of climate change.	<ul style="list-style-type: none"> Consider any localised issues that need to be tackled e.g. flooding 	<ul style="list-style-type: none"> Local survey feedback. Flooding is now a recurring issue, exacerbated by poor drainage
SP12: Green Infrastructure, biodiversity and landscape	Protecting, enhancing and managing green infrastructure. NE4: Protects public open space. NE6: New and improved open green space.	<ul style="list-style-type: none"> Map out the Green Infrastructure network locally. Are there any deficiencies set out in the North Hertfordshire District Green Infrastructure Plan Opportunity to identify important public open space in the area – see Open Space Review. 	<ul style="list-style-type: none"> North Hertfordshire District Green Infrastructure Plan. Local survey to identify Local Green Spaces – e.g. Wallington Common. Open Space Review² - is there sufficient space by category? Hertfordshire ecological networks mapping report – available on request from the Herts Environmental Records

²<https://www.north-herts.gov.uk/sites/northherts-cms/files/OSC4%20North%20Hertfordshire%20Open%20Space%20Review%20%26%20Standards%202016.pdf>

Emerging Local Plan Policy	What it seeks to achieve	Scope for Wallington Neighbourhood Plan	Relevant evidence
		<ul style="list-style-type: none"> • Designate Local Green Spaces. • Identify locally significant views. 	<p>Centre http://www.hercinfo.org.uk/</p> <ul style="list-style-type: none"> • Conservation Statement³
SP13: Historic Environment	<p>Protect and enhance historic assets. HE1: Designated heritage assets. HE2: Heritage at Risk. HE3: Local Heritage.</p>	<ul style="list-style-type: none"> • Consider any non-designated heritage assets in the area. • Also heritage assets at risk. • Set out more detailed proposals around character and design. 	<ul style="list-style-type: none"> • Heritage Assessments – there is not one for Wallington – will be explored as part of Design/Character work. • Heritage Gateway. • Local survey feedback.

³ <https://www.north-herts.gov.uk/sites/northherts-cms/files/Wallington%20CA%20Character%20Statement.pdf>

4. Detailed Statistics and trend data

- 4.1. The following sub-sections set out the detailed statistics and trend data for the neighbourhood area. Unless otherwise specified, data is taken from the 2011 census, which although some years old now, is considered to be proportionate for this purpose. It should also be noted that data has been taken for Wallington parish, which extends slightly beyond the neighbourhood area.
- 4.2. Some 2021 census is now available, and this has been included under each section.

Population

- 4.3. The 2011 Census recorded that the usual population of the parish was 150 persons and 60 household spaces, of which 56 were usually occupied. The population of North Herts district as a whole is 127,144, therefore the parish of Wallington represents less than 1% of the overall population of the district.
- 4.4. Figure 1 below shows the age breakdown of the population in 2011.

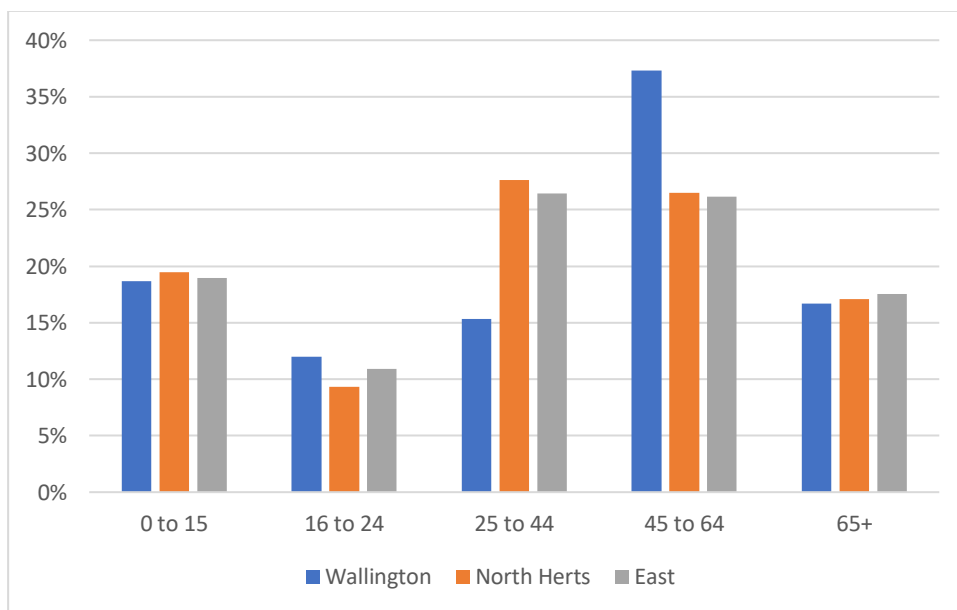


Figure 1: Age profile of Wallington residents, 2011

- 4.5. It is interesting to consider how the population is evolving and Figure 2 reveals the change in age profile of the population between 2001 and 2011.

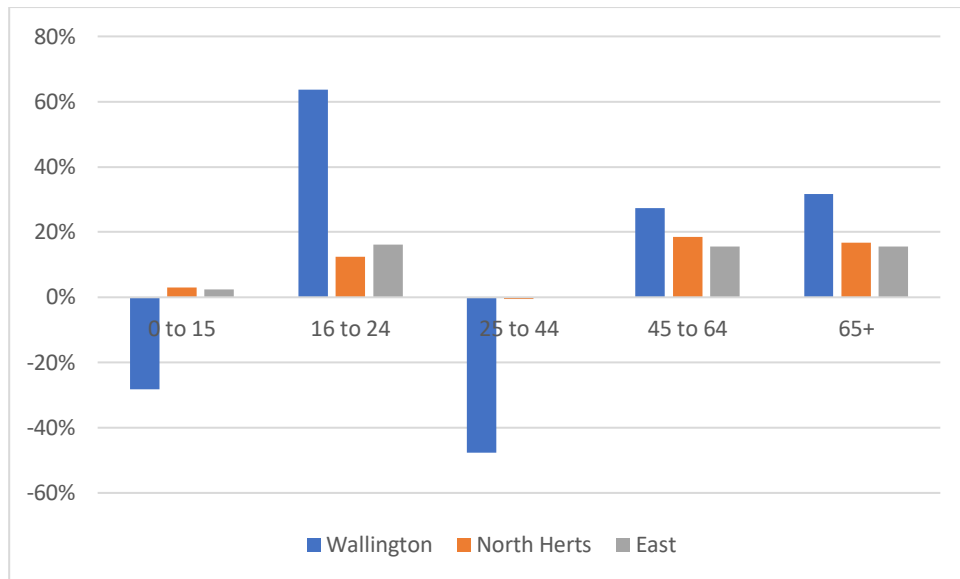


Figure 2: Change in age profile of Wallington residents, 2001 to 2011

- 4.6. Over the ten-year period between 2001 and 2011, the population of the area fell from 157 residents to 150.
- 4.7. It will be interesting to consider how these trends have changed since the 2011 census and an important exercise will be to update the statistics once the 2021 census data is made publicly available.

2021 Census Update

- 4.8. The number of residents has again fallen, to 140 people. The age profile is shown in Figure 2a. Families still appear to be within the Parish, but the predominant shift is to the older age brackets.

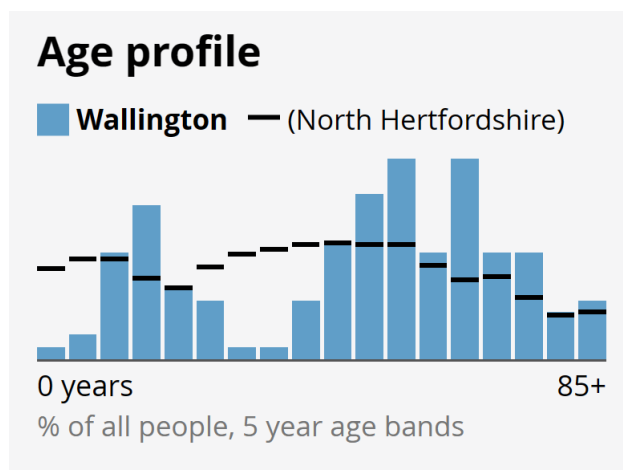


Figure 2a: 2021 age profile

Housing

Current house prices

- 4.9. The area is very rural with most of the housing located within Wallington village itself. There have been no large-scale developments in recent years and it would appear that families living in the area remain in situ, with few new, younger couples and families moving in. It is interesting to consider the impact that house prices have on this both locally and on a wider geographical basis.
- 4.10. A comparison of house price sales in nearby settlements, by type and value between (April 2019 to April 2020, www.rightmove.com) is provided below:
- **Baldock:** The majority of sales were terraced properties, selling for an average price of £319,581. Semi-detached properties sold for an average of £340,618, with flats fetching £171,211. The average of all property types was £303,746 (2,830 sold).
 - **Royston:** The majority of sales were terraced properties, selling for an average price of £293,351. Detached properties sold for an average of £620,073, with flats fetching £173,413. The average of all property types was £375,000 (4,847 sold).
 - **Sandon:** The majority of sales were detached properties, selling for an average price of £678,000. Terraced properties sold for an average of £360,000. The average of all property types was £519,000 (77 sold).

Compared to the other locations, on the whole houses in Wallington for sale are few and far between. They are also more expensive, inevitably, than those available in the larger settlements. Almost all sales were of detached homes.

Dwelling type

- 4.11. There were 56 occupied household spaces in the parish in 2011 and Figure 3 breaks these down by type. The vast majority of homes are detached, much higher than for North Herts and the East region as a whole, which mirrors the findings on the house prices. Council tax bands are therefore likely to be higher too. There are no terraced properties or flats in the area.

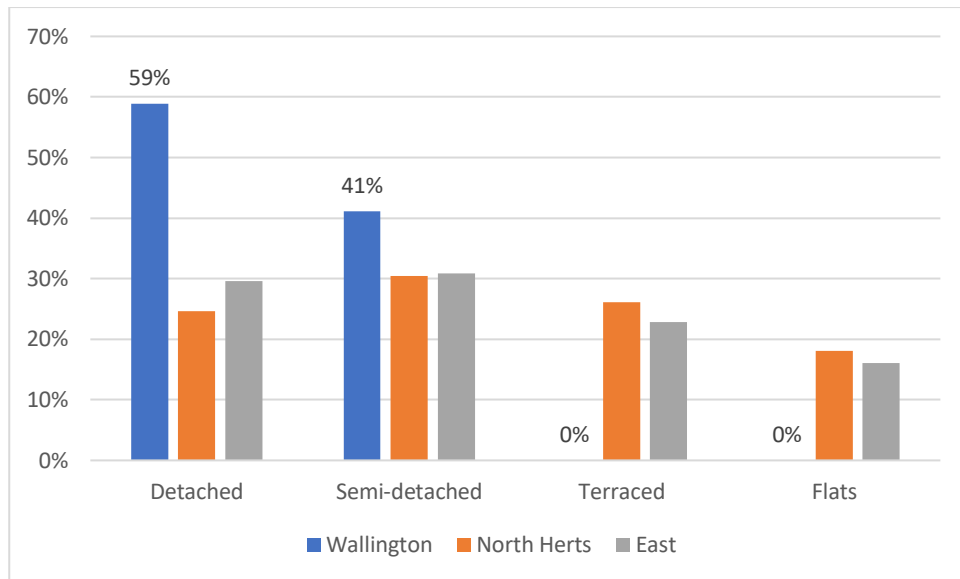


Figure 3 – Type of housing in the Area

2021 Census Update

4.12. The 2021 census records 6 households in the Parish.

Number of bedrooms

4.13. Figure 4 sets out the proportion of occupied dwellings by number of bedrooms in Wallington and respective geographies. As might be expected in an area with higher levels of detached and semi-detached properties, Wallington has a significant proportion of homes with 3 or 4+ bedrooms (c52%) compared to the borough and wider region.

4.14. On the other hand, the proportion of 2-bedroom properties is significantly lower (c9%) than comparative geographies as are 1-bedroom dwellings, which account for just 1% of Wallington's homes. The dwelling sizes in the parish are weighted toward the larger dwelling size in comparison to the wider geographies.

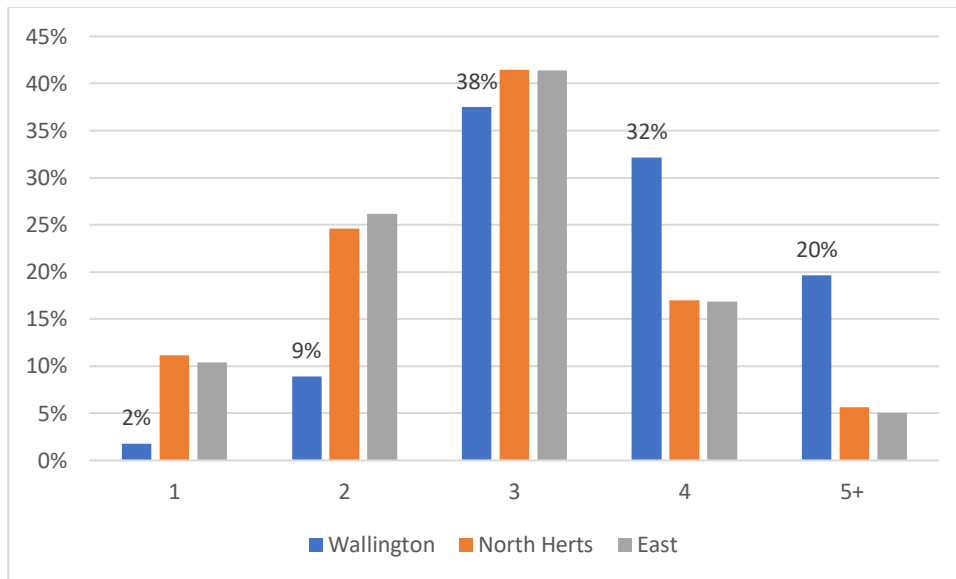


Figure 4: Household dwellings by number of bedrooms

2021 Census Update

4.15. Figure 4a shows the number of bedrooms in the 2021 census:

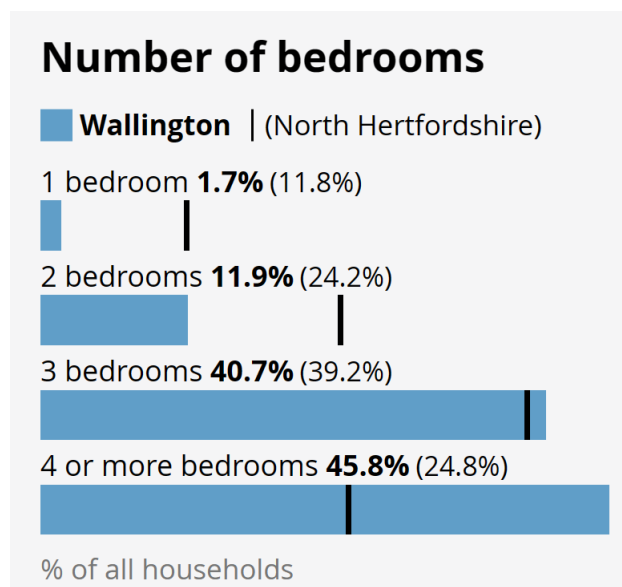


Figure 4a: Number of bedrooms (2021)

Tenure

- 4.16. The tenure of housing refers to the legal status of the occupier in relation to the property in which they live. The key tenures for the purpose of this analysis are:

Owner occupier	Where the occupier owns the property on a freehold or long leasehold basis with or without a mortgage.
Private rent	Where the tenant rents the property from a private individual or organisation usually at a rent dictated by market conditions, but in any event free from statutory or other regulatory rent controls.
Affordable housing for rent	Where the tenant rents the property from a registered provider of social housing (Registered Provider) and the property is let at a below market level rent and controlled by statute or other regulatory power. A Registered Provider is usually a local authority landlord or housing association.
Affordable housing for sale	Where the occupier owns or part owns the property and has received some form of subsidy in order to do so. The property will usually be bound by some form of condition or covenant that ensures that the subsidy remains vested in the property.

- 4.17. The tenure of housing is illustrated in Figure 5, revealing that the area predominantly comprises homes that are owned by their occupants, either outright or with a mortgage. The number of social rented housing available is extremely low, although private rented property availability is comparatively higher than across the district and wider area.

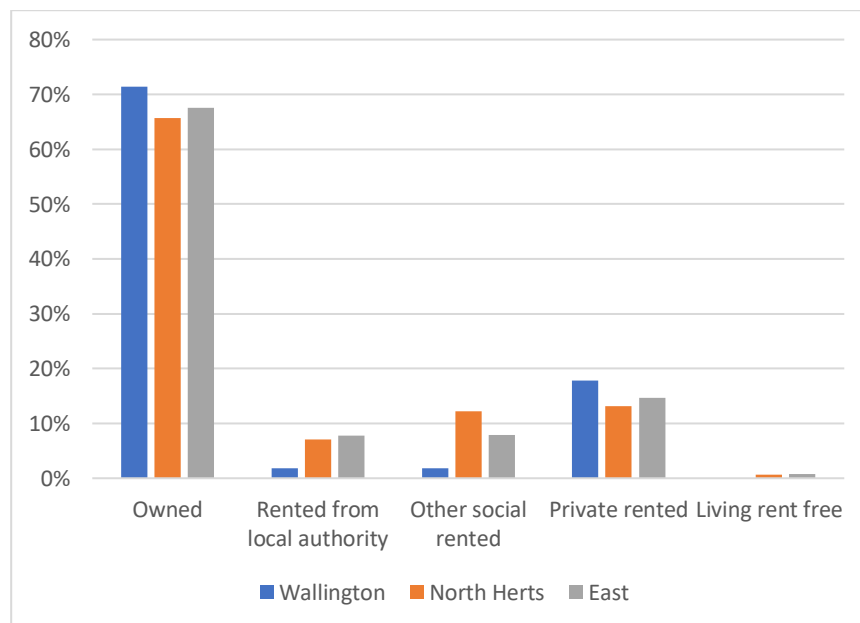


Figure 5: Tenure of housing

- 4.18. Figure 6 shows the tenure change over the period 2001 to 2011. Whilst the number of properties in Wallington grew by only 2, there has been a shift in the tenures of homes overall. Significantly, the number of homes rented from the local authority has diminished – in reality this was 3 homes in 2001 down to 1 home in 2011. The number of such homes across the district fell dramatically

too, perhaps explained by the selling off of stock to housing associations. There was an increase of 1 social rented (non-local authority) in the same period in Wallington. Privately renting opportunities have also increased modestly and in line with the district.



Figure 6: Tenure change between 2001 and 2011

2021 Census Update

4.19. Figure 6a shows the tenure situation in the 2021 census:

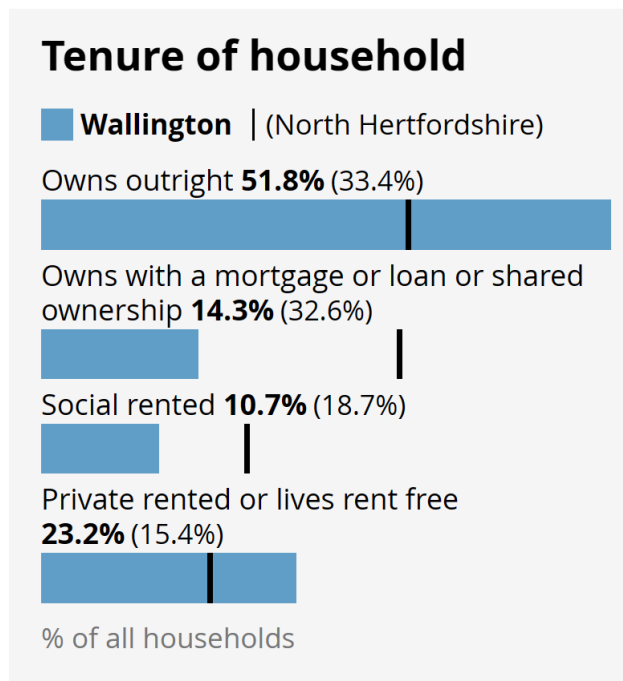


Figure 6b: Tenure in 2021

Household composition

4.20. Household composition is a fundamental factor driving the size of housing needed in the parish in the future. Figure 7 sets out the household composition by age in Wallington compared to the district and wider region. Whilst the majority of homes house a family, 34% of these do not include children. Just under one fifth of homes are occupied by a single person; given that the majority of homes in the parish are larger, detached properties this would suggest that such houses are under-occupied.

		Wallington	North Herts	East
One person household	Total	18%	29%	28%
Of which:	Aged 65 and over	5%	13%	13%
	Other	13%	16%	16%
One family only	Total	77%	66%	65%
Of which:	All aged 65 and over	14%	9%	9%
	With no children	20%	13%	13%
	With dependent children	27%	28%	27%
	All children non-dependent	11%	9%	10%
Other household types	Total	5%	5%	6%

Figure 7: Household composition by age

Household occupancy rates

- 4.21. There were 56 households (occupied) in Wallington and 150 usual residents. This means that the average number of people living in a dwelling was 2.7, marginally higher than for the district and region (both 2.4).
- 4.22. Whilst the average occupancy levels are marginally higher than the borough and regional average, it is helpful to drill down further to explore the extent to which households are either over- or under-occupied. Occupancy rating provides a measure of whether a household's accommodation is overcrowded or under occupied. There are two measures of occupancy rating, one based on the number of rooms in a household's accommodation, and one based on the number of bedrooms. The ages of the household members and their relationships to each other are used to derive the number of rooms/bedrooms they require, based on a standard formula. The number of rooms/bedrooms required is subtracted from the number of rooms/bedrooms in the household's accommodation to obtain the occupancy rating. An occupancy rating of -1 implies that a household has one fewer room/bedroom than required, whereas +1 implies that they have one more room/bedroom than the standard requirement.
- 4.23. Over-occupation may occur where there are a larger number of people living in a dwelling with a smaller number of rooms and vice versa for under-occupation. Over-occupation can lead to detrimental living conditions and is therefore not desirable. On the other hand, while under-occupancy might suggest that housing is effectively tied-up and not available for growing or extended families, many people choose to remain in their larger family home when their children move out, in order to retain that property for space, value or sentimental purposes. If however,

the reasons for under-occupation is because there are insufficient local properties to downsize to, then this can indicate a challenge that can be addressed via the planning system.

- 4.24. Figure 8 shows the percentage of dwellings in Wallington and the wider geographies that are either under- or over-occupied, in the context of number of bedrooms.
- 4.25. For Wallington, the data reveals that 66% of dwellings in the parish are under-occupied by 2 bedrooms or more. This is significantly higher than the data for the district and wider region, but is perhaps not surprising given the number of larger properties in the parish compared to smaller ones.

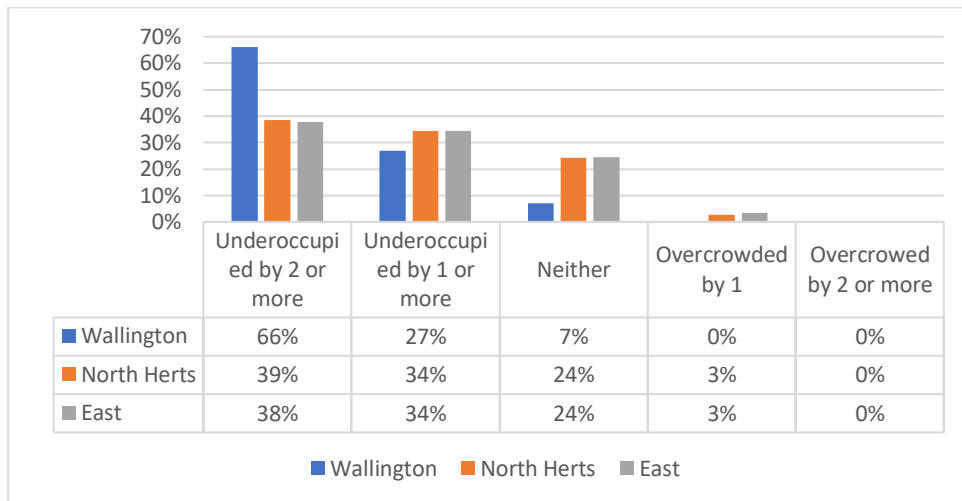


Figure 8: Percentages of properties either over- or under-occupied

2021 Census Update

- 4.26. Figure 8a shows the occupancy situation in the 2021 census:

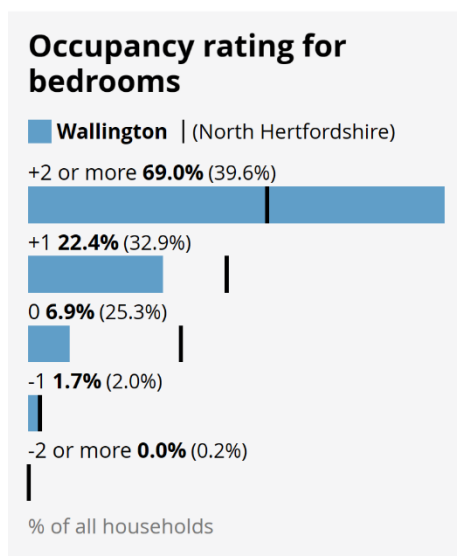


Figure 8a: Occupancy 2021

Work and skills

Type of employment

4.27. Of the residents in the area who were aged between 16 and 74 years old, 77% are classified as economically active. The remaining 23% are economically inactive and 58% of these are retired. The remaining economically inactive include 19% who are full time students and 15% who are looking after a family member full time.

4.28. Figure 9 illustrates the breakdown of how people are employed. Whilst the majority of those who are economically active work as an employee, there is a significant number of people who are self-employed (29% compared to 15% across the borough area). Self-employed people can often be more likely to work from home, therefore highlighting the need to ensure that the facilities and infrastructure – e.g. broadband and mobile connectivity and speed – is in place. The Covid-19 pandemic in turn has potentially led to more employees also working from home.

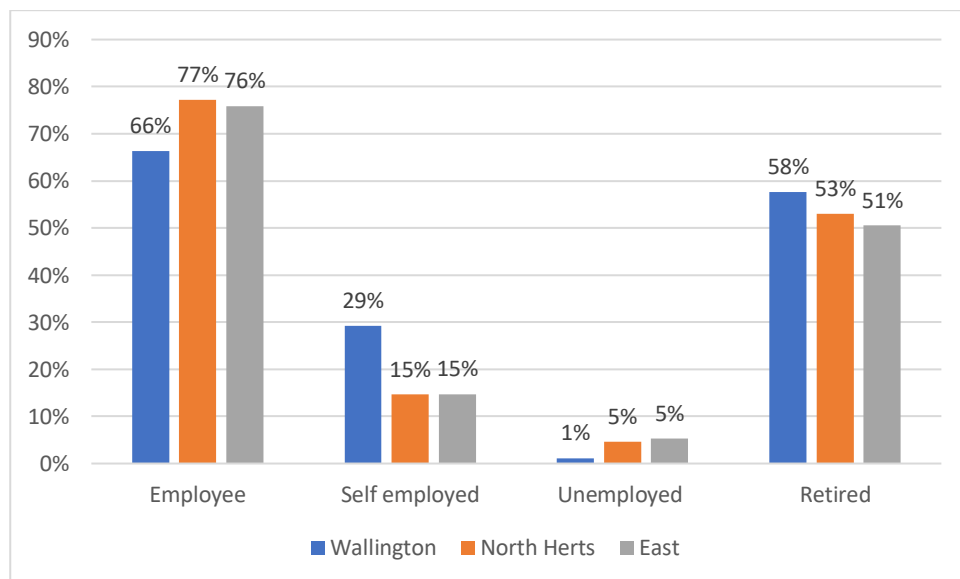


Figure 9: Economic activity (Retired is shown as a percentage of non-economically active)

Method of travel to work and distance

4.29. Understanding how people reach their place of work is helpful when considering the potential impact that commuting has on the local transport infrastructure. Figure 10 suggests that of those residents in employment, 71% are commuting by car to their place of work. This is perhaps unsurprising in a rural area, where the main source of employment is likely to be in the nearby major towns and cities. A higher-than-average number of people work from home, which is also perhaps unsurprisingly given the number of self-employed people.

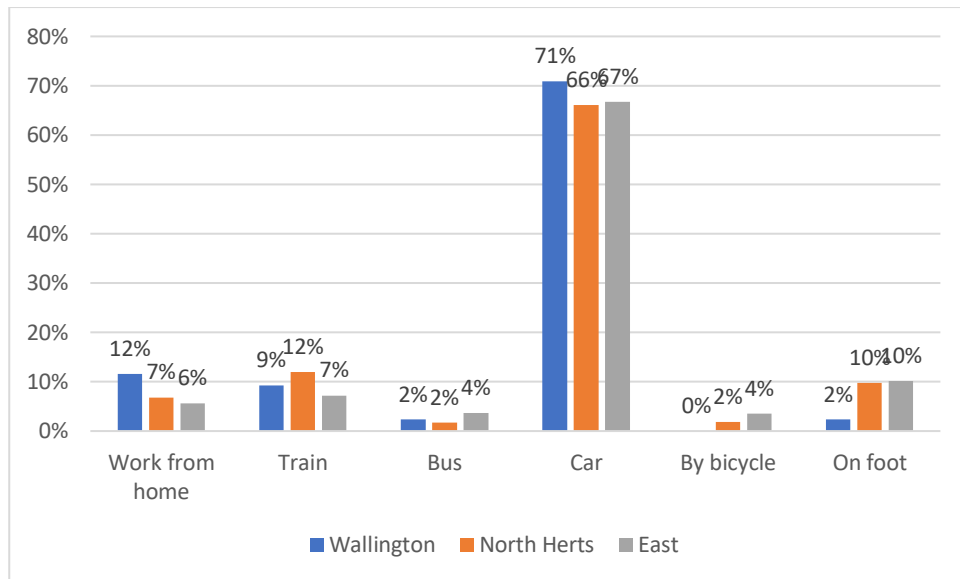


Figure 10: Mode of transport to work

2021 Census Update

4.30. Figure 10a shows the mode of transport taken to work recorded in the 2021 census:

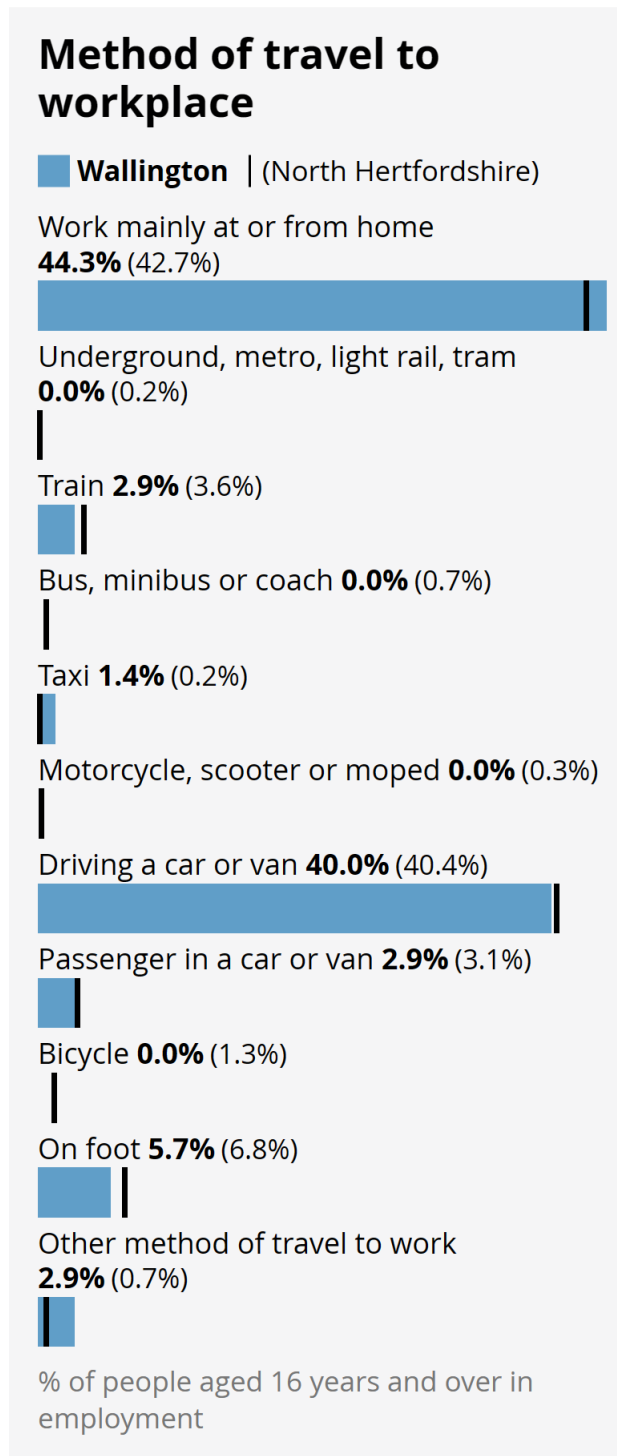


Figure 10a: Mode of transport to work, 2021

4.31. Figure 11 indicates how far people are travelling to reach their place of work. Of those commuting to work, 43% are travelling at least 10km to reach their place of work, which would include:

- 10km: Stevenage, Letchworth, Royston.
- 20km: Hertford
- 30km: Luton and Cambridge
- 40km: Milton Keynes
- 50 to 60km: London

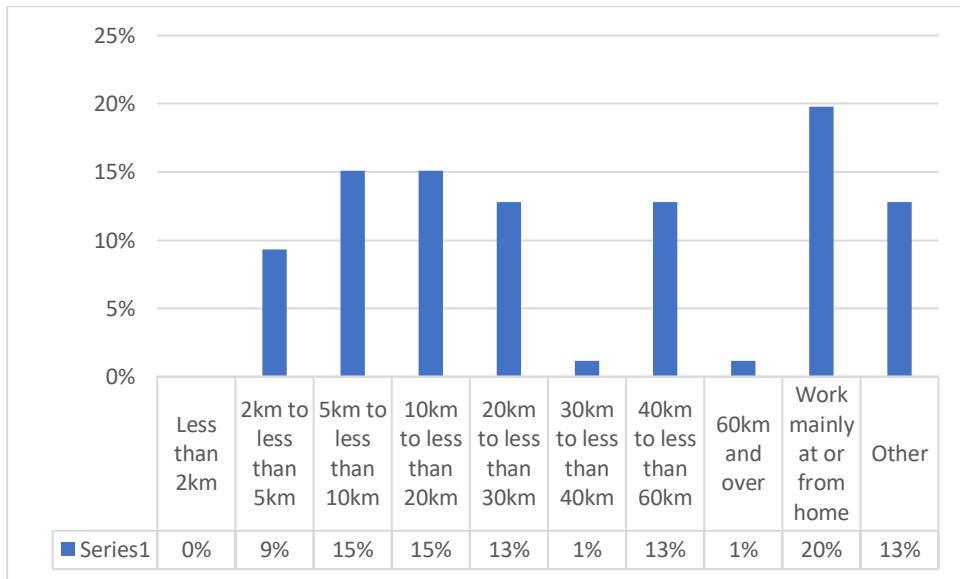


Figure 11: Distance travelled to place of work

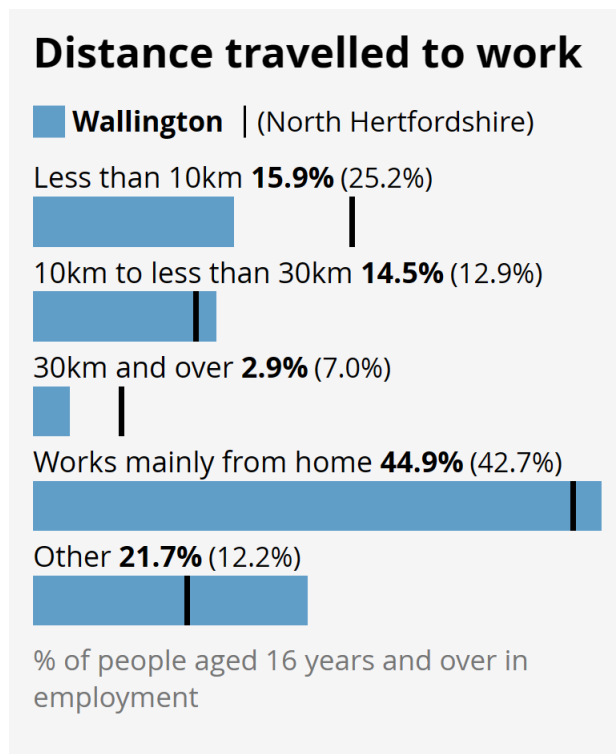


Figure 11a: Distance travelled to place of work (2021)

4.32. No households in the area are without access to a car (Figure 12), implying that car usage is high. There is a need to consider how to encourage shorter journeys to take place by other means. This is supported by the significantly higher numbers of households than average having at least 3 cars (in all likelihood driven by the fact that many households have older children still living at home), when compared to the broader geographic area.

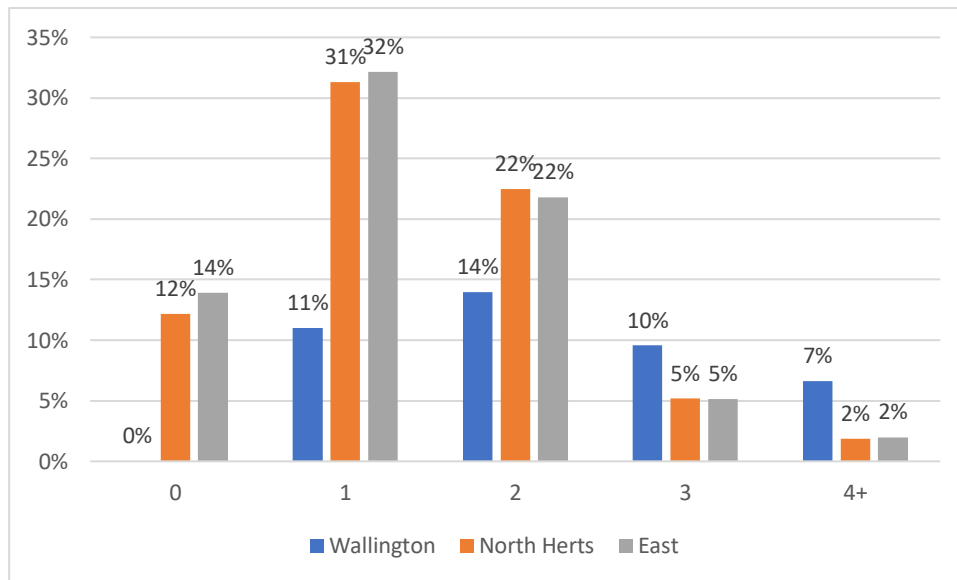


Figure 12: Number of cars per household

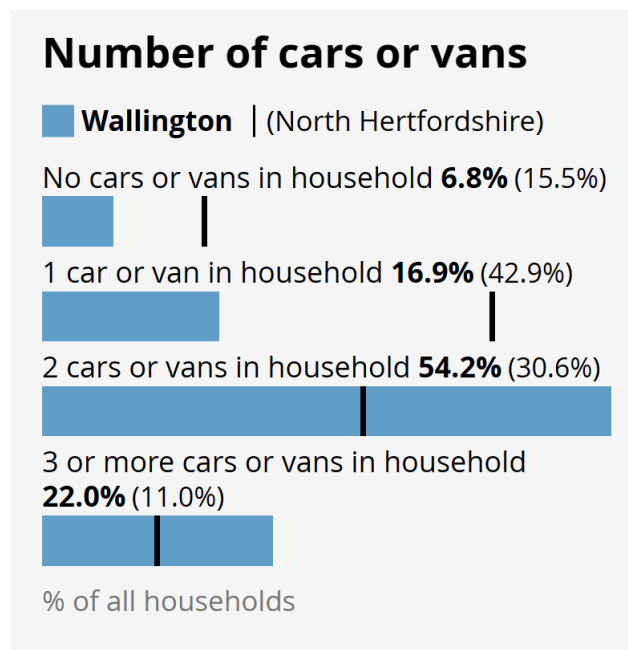


Figure 12a: Number of cars per household (2021)

4.33. Figure 13 shows the qualifications of the local residents aged 16 years and over. Wallington has a well-qualified local population, reflected in the low levels of unemployment.

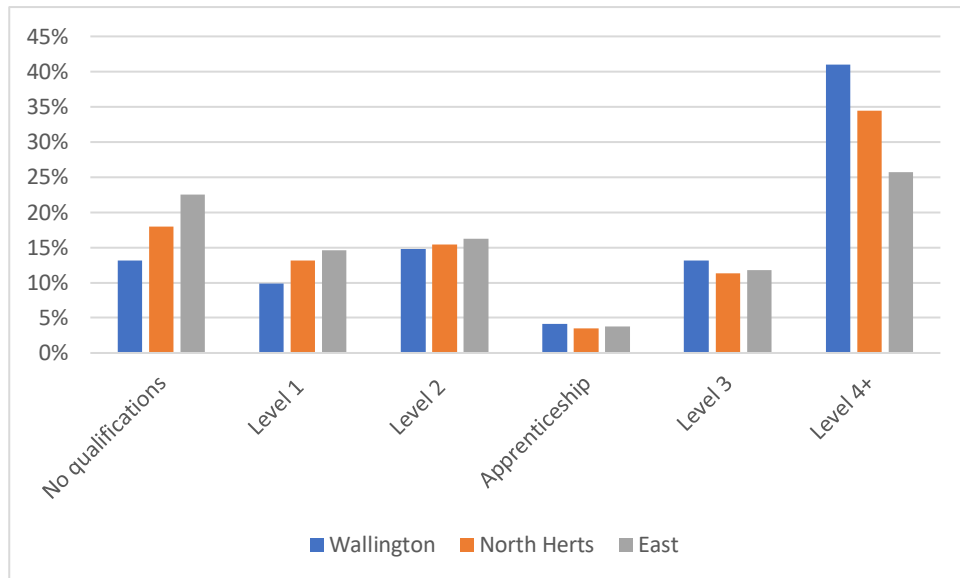


Figure 13: Highest level of qualifications

Health

4.34. Residents in the Area enjoy a good level of health overall, mirroring the borough as a whole, as illustrated in Figure 14.

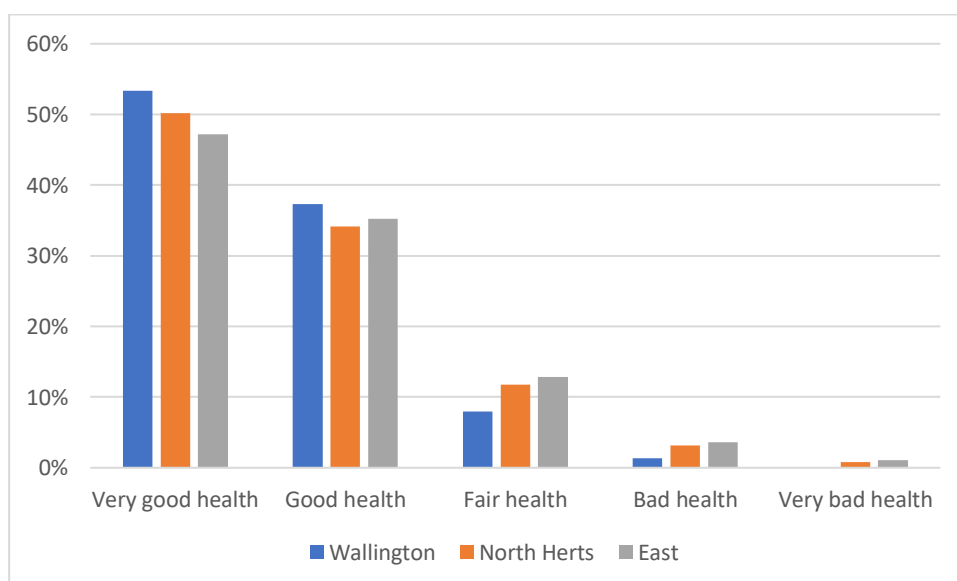


Figure 14: Level of health

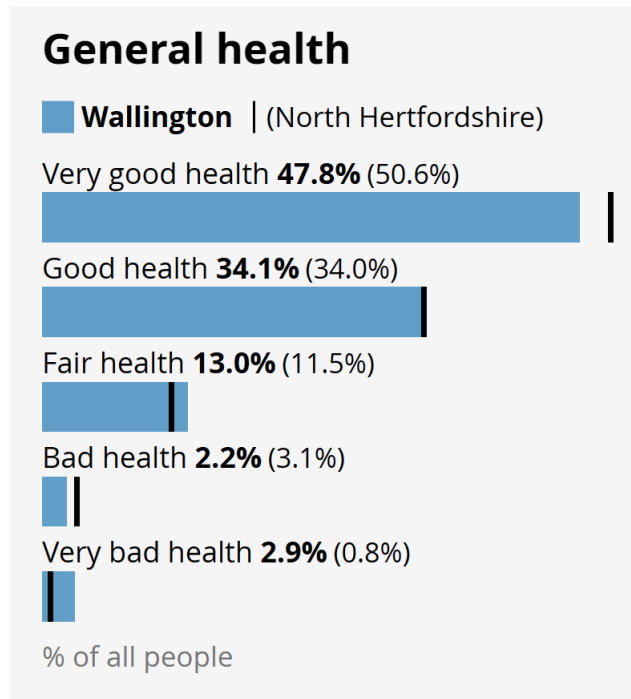


Figure 14a: Level of health (2021)

Appendix B – Criteria used to define the built core of Wallington village

Government guidance recommends that a set of criteria be used when defining the settlement boundary or built core of a settlement.

Such boundaries can exclude large gardens, orchards and other areas, which are considered to contribute significantly to local character. This may mean that occasionally the boundaries do not relate fully to the physical features surrounding the village. For Wallington, areas identified within the Wallington Conservation Area Character Statement as significant green space¹ and significant trees contributing to the Weston-Green End Plateau Landscape Character Area, have been excluded from the built core.

The following criteria have been used in determining the built core for Wallington, with a commentary provided against each.

Criteria	Commentary
<p>Lines of communication - The boundaries trace the edge of the built up area, therefore excluding roads, paths, railways and other lines of communications.</p>	<p>The boundary excludes lines of communication.</p>
<p>Physical features - Wherever possible try to allow the boundaries to follow physical features, such as: buildings, field boundaries or curtilages. However, in order to conserve the character and to limit expansion, settlement boundaries can exclude large gardens, orchards and other areas. This may mean that occasionally the boundaries do not relate fully to the physical features surrounding the village.</p>	<p>The boundary has been drawn to exclude 'significant green space' within the village, as identified in the Wallington Conservation Character Area Statement. These are considered to contribute significantly to the local character of the area and should be safeguarded against development.</p>
<p>Planning History / Recent Development - You may wish to consider existing commenced planning permissions, recent refusals, planning appeal decisions and previous Local Plan inspector's comments concerning areas on the edge of the village.</p> <p>Where appropriate, settlement boundaries should include new developments which may have occurred recently. It is also advisable to include sites that have received planning permission within the settlement boundary.</p>	<p>The monitoring data held by NHDC records that two applications have been granted permission since 2011:</p> <p>09/01849/1 Land at Baldock Radio Station, Royston Road, Wallington: Change of use of land to provide new racehorse training facilities comprising 42 stables including feed, tack storage and office, two storage barns, one equine pool with plant room, solarium and sandroll, one warm up track, one horse exerciser and one six-furlong gallop. Associated staff accommodation comprising one Trainer's house, one temporary Assistant Trainer's mobile home and one temporary two bed staff mobile home. Associated works, access tracks and widening of existing vehicular crossover onto A505. (As amended by plans received 15th</p>

¹ <https://www.north-herts.gov.uk/sites/default/files/Wallington%20CA%20Character%20Statement.pdf>

	<p>December 2009). (The planned development was never built).</p> <p>13/01005/1: Bygrave Lodge Farm, Wallington, SG7 6QX: Single storey extension to existing crew hut to provide 4 bedroom dwelling for seasonal agricultural workers.</p> <p>No new planning applications for new dwellings are pending</p>
<p>Village enhancements - Settlement boundaries should include buildings and associated land that make up the village form. In some edge of village areas, boundaries may need to include small areas of land and/or buildings which offer the opportunity for improvements to the entrance of the village or ensure infrastructure improvements or a general enhancement to the village</p>	<p>The primary entrance to village is along Wallington Road, leading into Kitt's Lane. Secondary entrances – particularly by foot – are:</p> <ul style="list-style-type: none"> - The track to the west of the church (footpath/bridleway). - The eastern end of The Street, connecting the village to neighbouring Sandon, some 2 miles to the east. - The northern end of The Street (footpath/bridleway).
<p>Important amenity areas - These form part of the character of the settlement and could be identified and protected by policy and included in the settlement boundary due to their contribution to built form.</p>	<p>Important amenity areas that contribute to the built form in Wallington are:</p> <ul style="list-style-type: none"> - The church and grounds - The village hall and playground - The village hall field, 'The Wick' - The ponds - Mutcheaps Field - The Park - 'Townsend Field' - Plough Paddock - New Close <p>Some of these are to be designated as Local Green Space</p> <p>The Conservation Area covers a large proportion of the village.</p>

The built core has been drawn to facilitate an appropriate level of proportional growth within the plan period, which is anticipated to be small in scale. There are no site allocations within the emerging Local Plan pertaining to Wallington.

Appendix C – Wallington Design Guidelines and Codes



AECOM

WALLINGTON

Design Guidelines and Codes

Final Report

April 2021

Quality information

Prepared by	Checked by
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Revision History

Revision	Revision date	Details	Name	Position
6	16-04-21	Final report	Jimmy Lu	Senior Urban Designer
5	16-04-21	Review	Annabel Osborne	Locality
4	13-04-21	Final draft	Jimmy Lu	Senior Urban Designer
3	28-01-21	Review	Graham Lamb	Rushden & Wallington Parish Council
1	04-01-21	Draft report	Jimmy Lu	Senior Urban Designer
0	24-12-20	Research, site visit, drawings	Stela Kontogianni	Graduate Urban Designer

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Introduction

01



1. Introduction

This section provides context and general information to introduce the project and the area of study.

1.1 Background

Through the Ministry of Housing, Communities and Local Government (MHCLG) Neighbourhood Planning Programme led by Locality, AECOM has been commissioned to provide design support to Rushden and Wallington Parish Council for the parish of Wallington.

The Neighbourhood Plan Working Group is making good progress in the production of the Wallington Neighbourhood Plan which is currently being written. The Rushden and Wallington Parish Council has requested to access professional advice on design codes

to influence the design of new development and conversions in the Neighbourhood Plan area. The objective is to ensure that they remain sympathetic to the Parish's existing built environment and historic character while leaving room for architectural innovation and retaining open space.

This document provides advice to address the Parish Council's concerns on the aforementioned design elements. It also supports Neighbourhood Plan policies that guide the design of any future development proposals in order to create distinctive places that are well-integrated with the existing settlement and to promote high-quality built forms.

It must be noted that the area of study covers most of the Parish with the exception of the areas near Shaw Green and Redhill to the south and south-east. A map of the study area is shown in Figure 1.

1.2 Objectives

The main objective of this report is to develop design codes for the Neighbourhood Plan that will inform the design of future planning applications and residential developments in the Neighbourhood Plan Area. In particular, it elaborates on key design elements that were agreed with the Neighbourhood Plan Working Group at the outset of the project, namely:

- Local historic character.
- Infill development and conversions.
- Preservation of open space.

1.3 Process

Following an inception meeting and a site visit with members of the Neighbourhood Plan Working Group, AECOM carried out a high-level assessment of the Neighbourhood Plan Area. The following steps were agreed with the Group to produce this report:

- Initial online meeting and virtual site visit.
- Site visit.
- Preparation of design principles and guidelines to be used to inform the design of the Neighbourhood Plan Area and future developments.
- Draft report with design guidelines.
- Final report.

- 1** Initial meeting between AECOM and the Rushden and Wallington Neighbourhood Planning Group. As this was during the national Covid 19 lockdown, a joint virtual site visit was carried out via Microsoft Teams and Google Streetview.
- 2** Urban design and local character analysis.
- 3** Preparation of design principles and guidelines to be used to inform the design of the Neighbourhood Plan Area and future developments.
- 4** Draft report with design guidelines.
- 5** Submission of a final report.

1.4 Area of study

Wallington is a village and civil parish in North Hertfordshire that shares a joint Parish Council with neighbouring Rushden. This study relates to its Neighbourhood Plan Area which is slightly smaller than the parish boundary in that it omits the Shaw Green and Redhill parts of the parish at its southern and south eastern areas. Figure 1 shows the parish boundaries and the study area.

The Parish is located 5 and 7km east of Baldock and Letchworth Garden City respectively, 11km north of Stevenage, 9km south-west of Royston, and 22km north-west of Bishop's Stortford. It borders the parishes of Sandon to the East, Rushden to the south, and Clothall to the west. The A505 forms its northern border with the parishes of Bygrave and Ashwell.

The centre of the village is located at the junction between Kit's Lane and The Street.

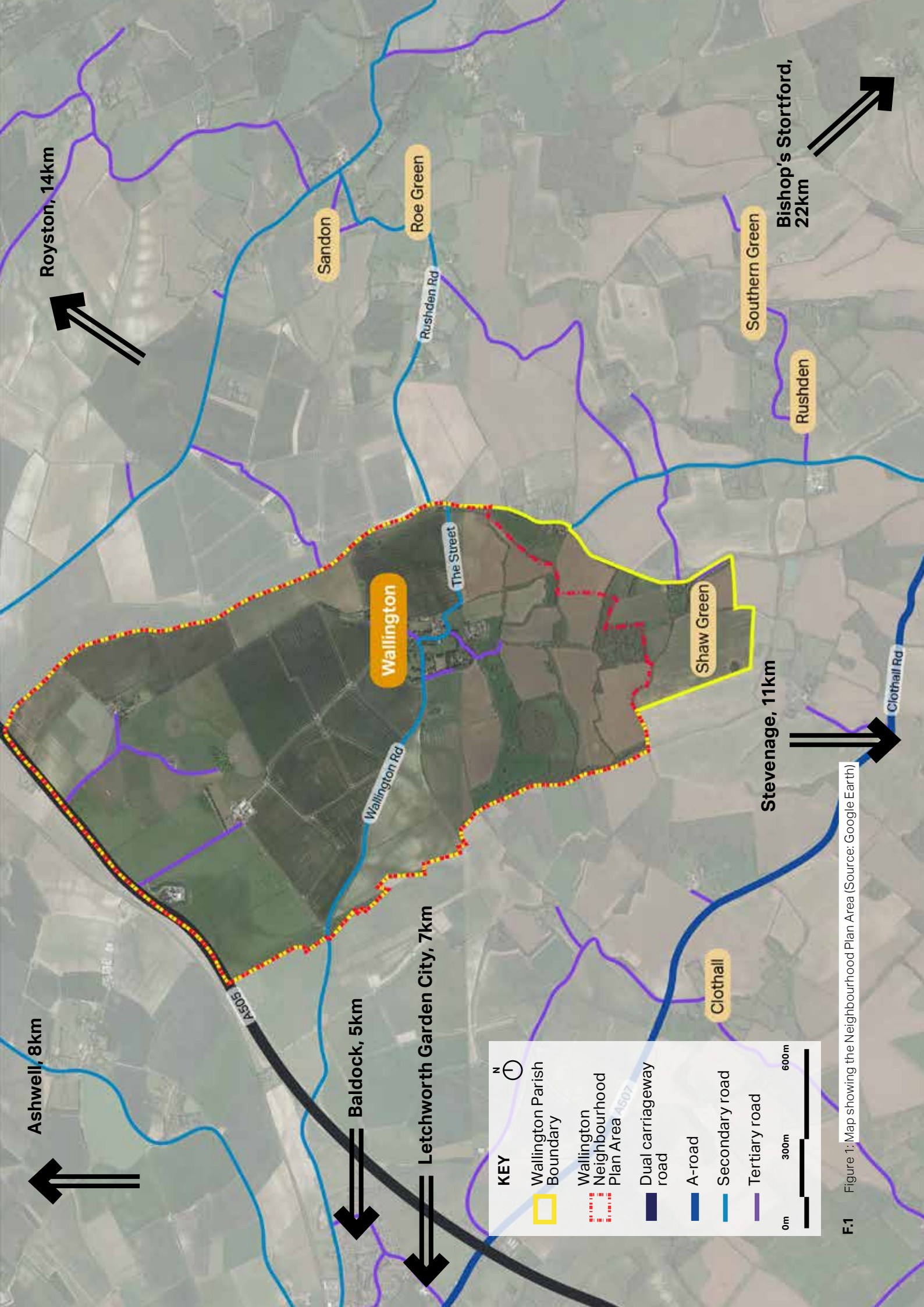
Wallington has retained many buildings that were built in the local Hertfordshire vernacular styles and are protected by a Conservation Area. The Parish has 22 listed buildings and structures, including the Grade II*-Listed St Mary's Church. Two of these are in Redhill and outside the scope of this study.

It is noted for its association with author and former resident George Orwell whose novel *Animal Farm* contains many allusions to local features in Wallington.

The Parish is heavily dominated by open space. Areas of green and open space include the church yard of St Mary's, the corner of Kits Lane, the Spinney, the Wick, Duck Pond, Well Pond, Carter's/Parson's Pond, and Wallington Common.

The Parish has no remaining retail, schools, or public transport. The nearest train stations are located in Baldock and Ashwell & Morden, 5 km west or north of the village. The closest primary school is in Sandon.

At the 2011 census the Parish population was 150.



F.1 Figure 1: Map showing the Neighbourhood Plan Area (Source: Google Earth)



**Local Character
Analysis**

02

2. Local Character Analysis

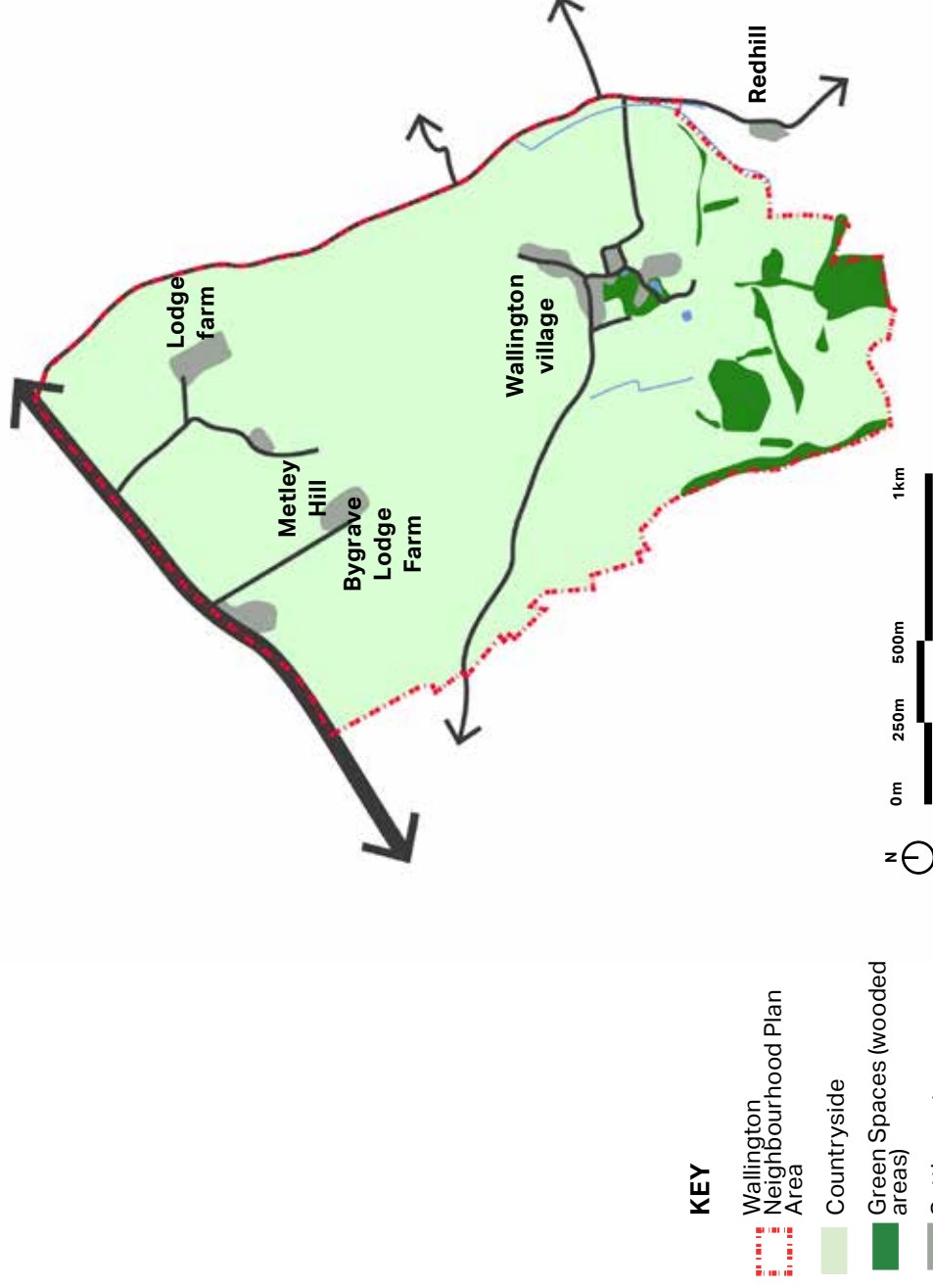
This section analyses the local context of the village, the key constraints and opportunities, as well as the special characteristics.

2.1 Wallington’s structure

Wallington Neighbourhood Plan Area is centred on an area that has remained predominantly rural despite the proximity of large settlements such as Letchworth Garden City and Stevenage.

The village of Wallington is the largest settlement in the Neighbourhood Plan Area, located at the crossroads between The Street and Kit’s Lane and forms the main settlement.

In addition, there are clusters of agricultural buildings to the north: Bygrave Lodge Farm, Metley Hill and Lodge Farm. Small settlements to the south, Shaw Green and part of Redhill, are not included within the Neighbourhood Plan area.



F.2 Figure 2: Diagram showing the structure of Wallington Neighbourhood Plan Area

2.2 Heritage assets

Wallington contains many noteworthy examples of the vernacular architecture of Hertfordshire that use local traditional materials such as clay roof tiles and timber weatherboarding. More details can be found later in the 'Materials and building details' section in Chapter 3.

As a recognition of its architectural heritage, the village has been protected by a Conservation Area since 1969. The Parish has 22 listed buildings and structures, 20 of which are located in the Wallington Neighbourhood Plan Area, whilst the other two are found to the south in Redhill. More information on the built heritage can be found in the 2019 [Wallington Conservation Area Character Statement](#).

Noteworthy buildings include St Mary's Church (Grade II*), the Village Hall (not listed), and George Orwell's former residence on Kit's Lane (Grade II).



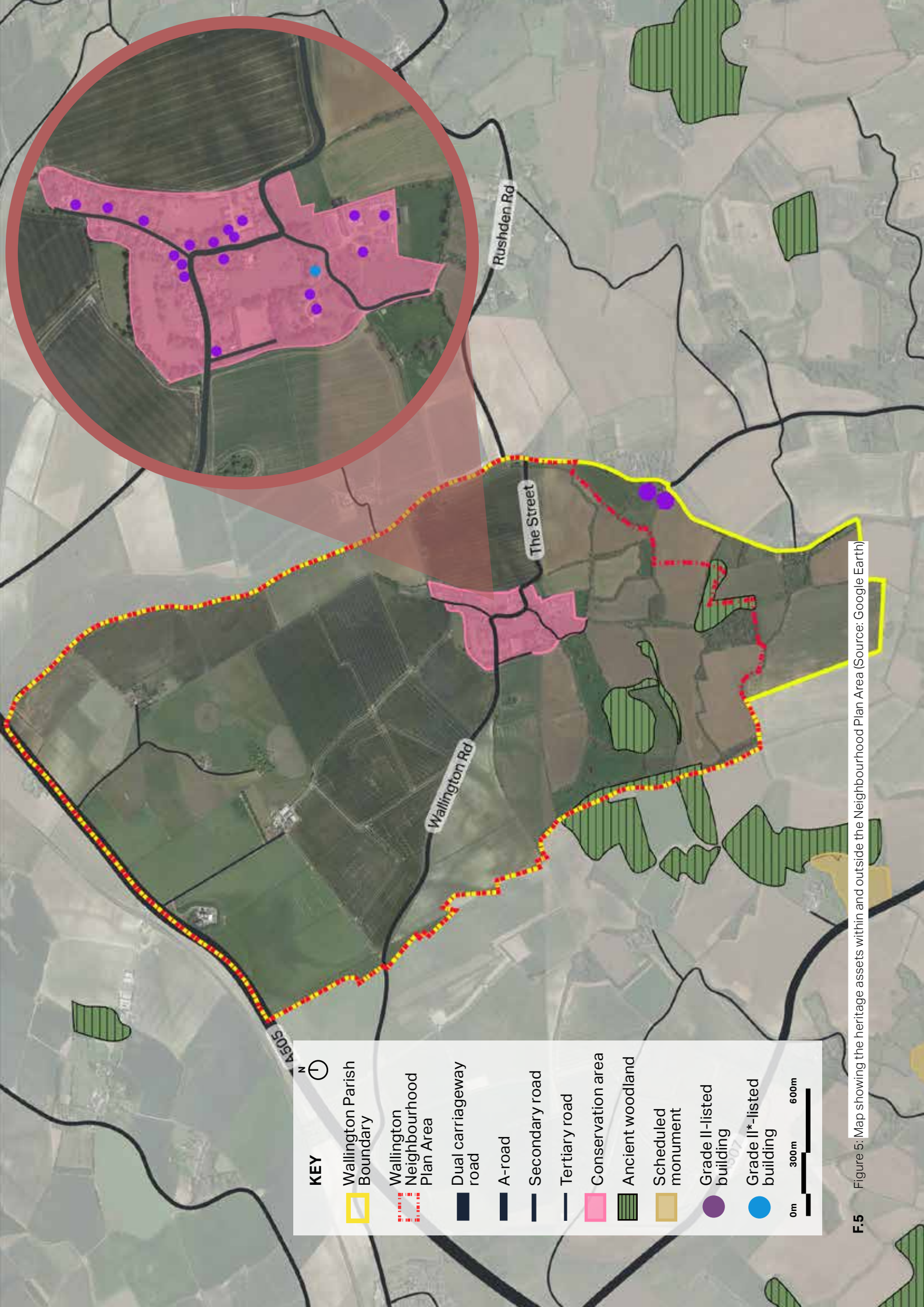
F.3



F.4

Figure 3: Listed building, former residence of George Orwell, located on Kit's Lane

Figure 4: Listed barn located on The Street



KEY

- Wallington Parish Boundary
- Wallington Neighbourhood Plan Area
- Dual carriageway
- A-road
- Secondary road
- Tertiary road
- Conservation area
- Ancient woodland
- Scheduled monument
- Grade II-listed building
- Grade II*-listed building

0m 300m 600m

F.5 Figure 5: Map showing the heritage assets within and outside the Neighbourhood Plan Area (Source: Google Earth)

2.3 Settlement pattern and built form

The settlement pattern closely follows the sinuous layout of the few country roads that cross the Parish.

The layout of the settlement is informal and spacious, with clusters of houses and agricultural buildings separated by green gaps formed by small meadows. As a result, most properties back onto and/or face open countryside.

Buildings are predominantly detached houses with a minority of semi-detached. There is considerable variation in parcel shapes, dimensions and layouts, but most houses have front gardens of various depth that create irregular recesses from the roads. Most residential buildings in the village directly front the roads, whilst the agricultural buildings are arranged in small clusters with a common access.

Outside the village of Wallington, the Neighbourhood Plan Area only has isolated farmsteads, a radio monitoring station, and anaerobic digestion facilities.

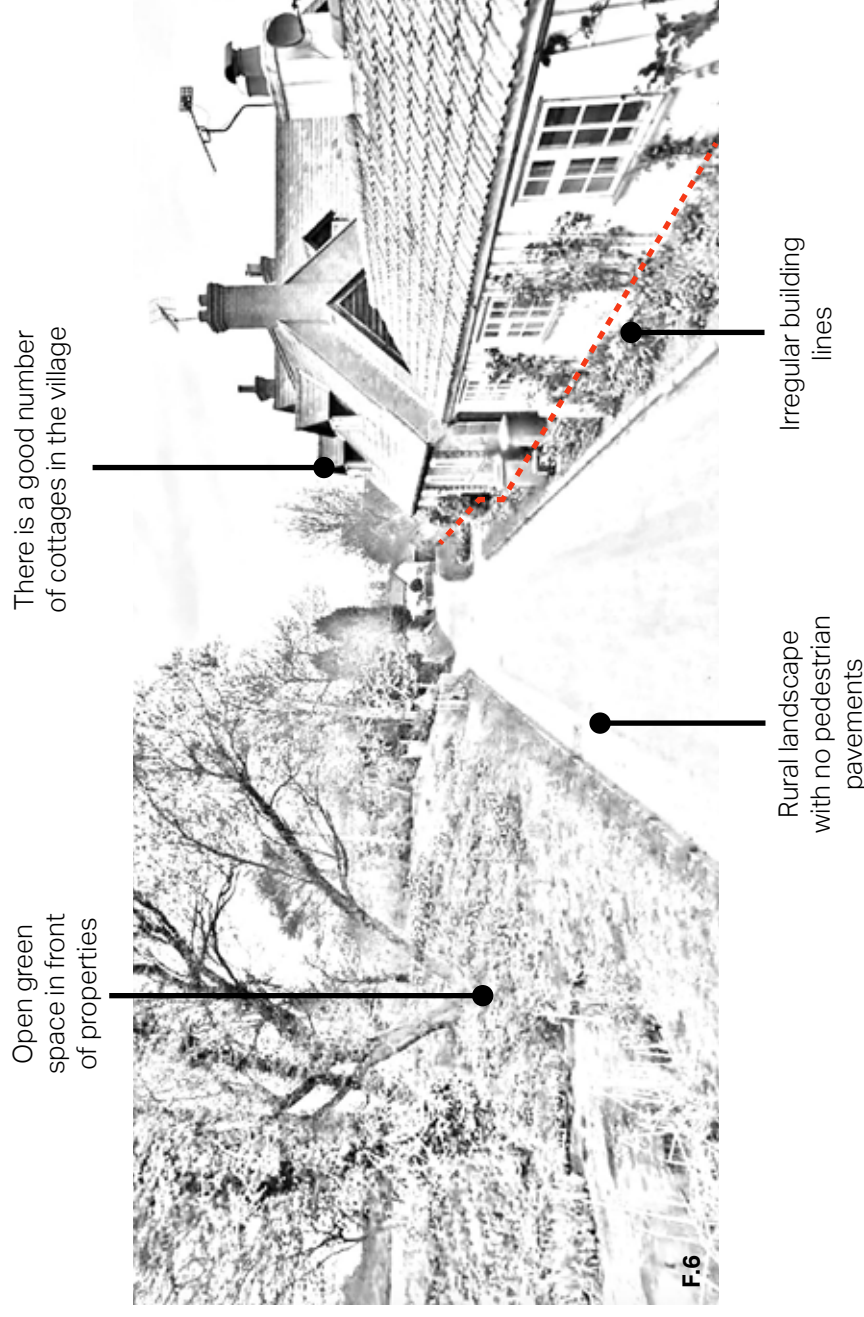


Figure 6: View to illustrate the prevailing settlement pattern in the village, The Street

2.4 Streets and public realm

The road network in Wallington is very sparse and is formed almost exclusively by narrow country roads that follow an organic and sinuous pattern.

The only major road is Royston Road (A505) forming the northern boundary of the Parish and located 2 km north of the village, as shown in Figure 5.

Kit's Lane and The Street are the only two roads in the village. Both are narrow and organic and neither are equipped with pavements apart from an area outside The Plough at the north western end of The Street.

The roads are framed by dense vegetation formed by landscaped hedges, ditches, and in many places mature trees. In the village, the public realm may also be delineated by low garden enclosures in the forms of timber fences, hedges, stone, or brick retaining walls.

The limited road network is complemented by a denser set of footpaths and bridleways,

including the historic routes of the Icknield Way and Hertfordshire Way, that connect the main village with the open countryside and neighbouring settlements. Royston Road (A505), however, remains a major pedestrian barrier due to the lack of footways and dedicated pedestrian crossing facilities.

Narrow, organic street network with no pavements



Open spaces, dense vegetation, hedges and mature trees are framing the roads

Boundary treatments to separate public and private spaces

Figure 7: View to illustrate the prevailing street network, The Street

2.5 Open spaces

Due to its low population and its agricultural character, the Parish is dominated by open spaces in the forms of open fields and small areas of woodland, e.g. The Spinney on Kit's Lane and the small area of woodland at the junction of Kit's Lane and The Street.

The simple layout of the village also makes open space highly visible and accessible to residents.

Wallington has a number of areas of open space, either formal or informal, that are accessible and used for recreational purposes. These include: St Mary's Churchyard, Wallington Common, the small play area next to the Village Hall, as well as Well Pond and Carter's/ Parson's Pond. The Parish does not have dedicated greens or sport pitches; the nearest sport facilities are located in neighbouring Roe Green.

There are also designated areas of ancient woodland to the south including Wallington Common. Scheduled Monuments are found south, outside the neighbourhood plan area, but in close proximity.



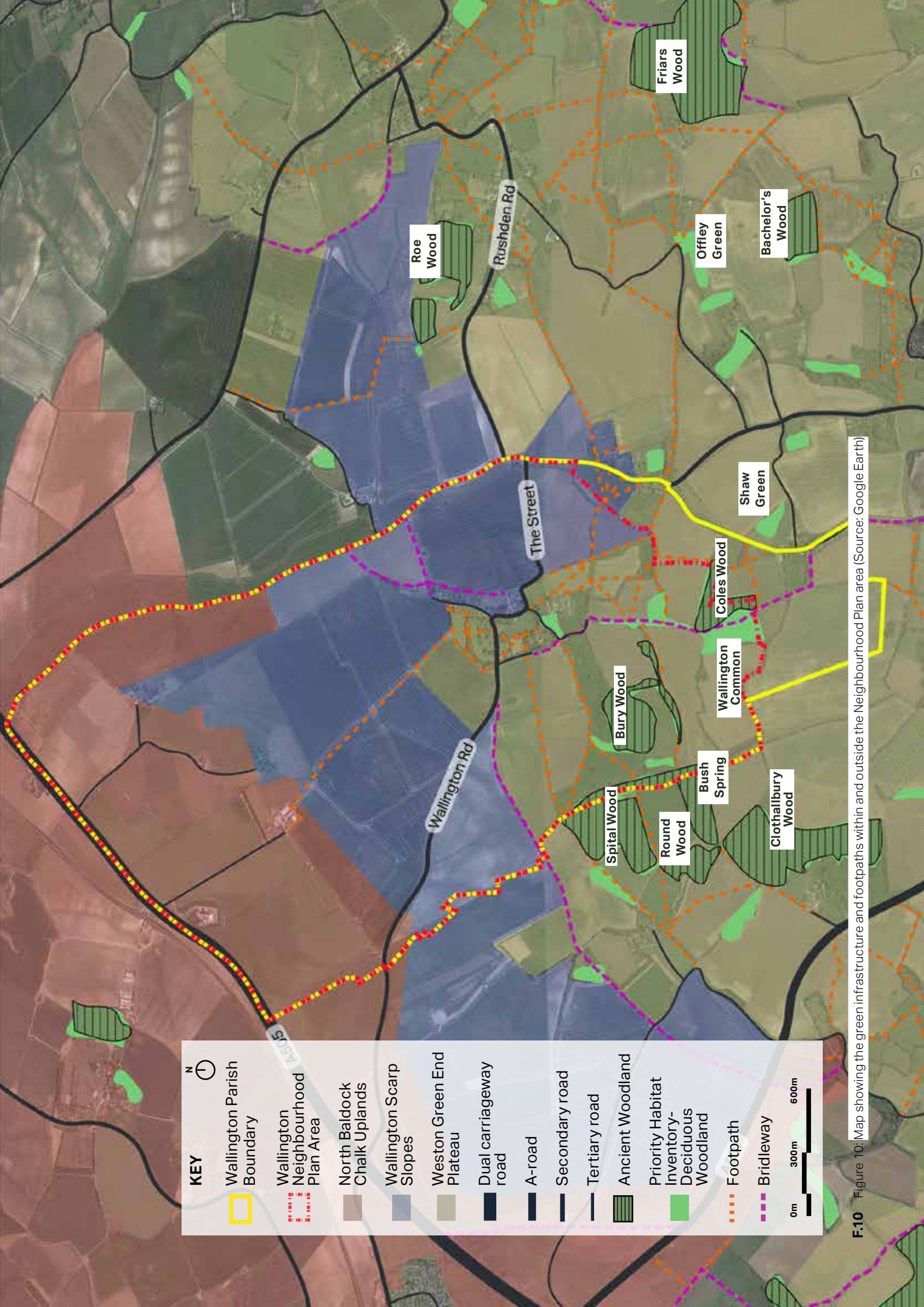
F.8

Figure 8: St Mary's Churchyard, The Street, is an open space that can be used for community events



F.9

Figure 9: The play area next to the Village Hall is an open space used by families, The Street



KEY 

-  Wallington Parish Boundary
-  Wallington Neighbourhood Plan Area
-  North Baldock Chalk Uplands
-  Wallington Scarp Slopes
-  Weston Green End Plateau
-  Dual carriageway road
-  A-road
-  Secondary road
-  Tertiary road
-  Ancient Woodland
-  Priority Habitat Inventory- Deciduous Woodland
-  Footpath
-  Bridleway

0m 300m 600m

F.10 Figure 10: Map showing the green infrastructure and footpaths within and outside the Neighbourhood Plan area (Source: Google Earth)

2.6 Building heights and roofline

Due to the dominance of detached houses and the spacious layout of Wallington, the roofline in the village is informal and irregular.

Buildings do not exceed two storeys in height, although some agricultural buildings are bulkier.

Buildings in the Neighbourhood Plan Area have a variety of roof orientations and shapes. Most roofs are covered in traditional clay or slate tiles, while more recent buildings may use non-traditional cladding. A few houses have well-preserved thatch roofs. A small number have dormer windows following loft extensions or at gable ends, and a small number also have cellars.

Due to the gently undulating topography, mature tree canopy, and low number of buildings, the village is almost invisible from approaching roads and footpaths. The only buildings clearly visible at any distance from outside the village are the church as well as Manor and Bury farmhouses.

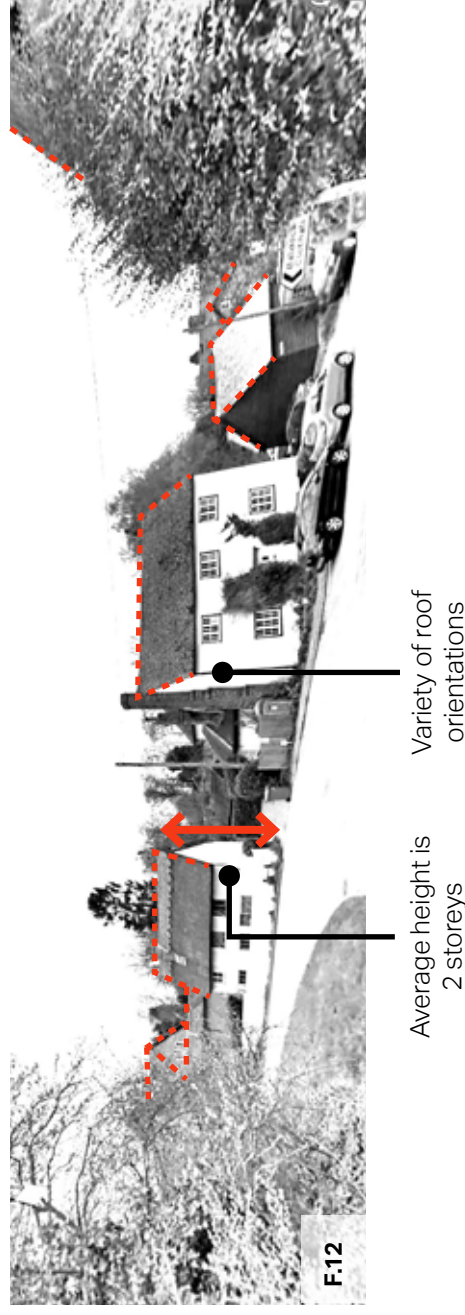
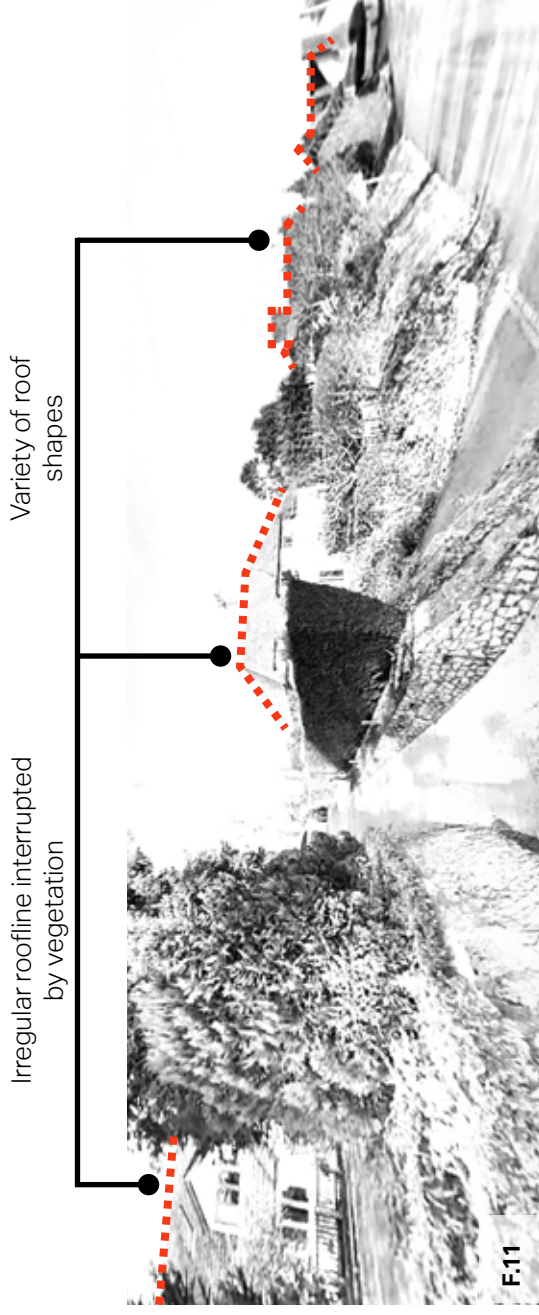


Figure 11: View to illustrate the roofline pattern in the village, Kit's Lane

Figure 12: View to illustrate the roofline pattern in the village, junction of Kit's Lane and The Street

2.7 Car parking

Most vehicle parking is off-street on private properties in the form of driveways, front garden parking, or garage buildings affixed to the side of houses.

Larger properties have more spacious room for cars in front gardens.

Parking areas in most properties is screened by landscaped hedges, which limits the impact of parking on the rural character.

There are no formally designated car parks, however there is a lay-by for up to 6 vehicles on the south side of Kit's Lane and an informal off-street car park on the private land north of the house known as The Plough.



Figure 13: Example of driveway on-plot parking in a property located along The Street

Figure 14: Example of front garden parking in a property located along Kit's Lane



**National Guidance that
must be followed**

03



3. National guidance that must be followed

3.1 National Design Guide

The National Design Guide illustrates how well-designed places that are beautiful, enduring and successful can be achieved in practice. It introduces 10 characteristics and 29 related principles that are common to well-designed places.

Building for a Healthy Life

Building for a Healthy Life (BHL) is the new (2020) name for Building for Life, the government-endorsed industry standard for well-designed homes and neighbourhoods.

National Design Guide

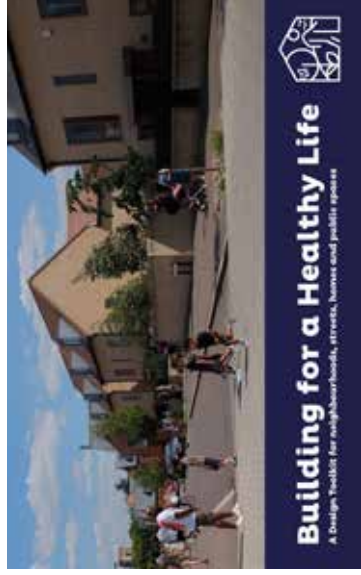
Planning practice guidance for beautiful, enduring and successful places



 Ministry of Housing, Communities & Local Government

The new name reflects the crucial role that the built environment has in promoting well-being.

The BHL toolkit sets out 12 questions to help guide discussions on planning applications and to help local planning authorities to assess the quality of proposed (and completed) developments, but can also provide useful prompts and questions for planning applicants to consider during the different stages of the design process.



3.2 Manual for Streets

Major development is expected to respond positively to the Manual for Streets, the Government's guidance on how to design, construct, adopt and maintain new and existing residential streets. It promotes streets and wider development that avoid car dominated layouts and place the needs of pedestrians and cyclists first.





**Design Guidance and
Codes**

04

4. Design Guidance and Codes

The aim of this chapter is to develop design guidelines and codes for future development that consider the local character and can enhance local distinctiveness by creating good quality developments and thriving communities.

immediate neighbouring buildings but also the townscape and landscape of the wider locality.

The local pattern of streets and spaces, building traditions, materials and natural environment should all help to determine the character and identity of a development.

It is important with any proposal that full account is taken of the local context and that the new design embodies the 'sense of place' and also meets the aspirations of people already living in that area.

As a first step, there are a number of design principles that should be present in any proposal. In particular, new development should:

- Respect the existing settlement pattern in order to preserve the character.
- Integrate with existing paths, streets, circulation networks.

- Reinforce or enhance the established character of streets, greens and other spaces.
- Harmonise and enhance existing settlement in terms of physical form, architecture and land use.
- Retain and incorporate important existing features into the development.
- Respect surrounding buildings in terms of scale, height, form and massing.
- Adopt contextually appropriate materials and details.
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features.
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other.
- Aim for innovative design and eco-friendly buildings while respecting the architectural heritage and tradition of the area.

4.1 General principles

A brief reference to general design principles will be mentioned before the main part of the design guidance with reference to Wallington Neighbourhood Plan Area.

The guidelines developed in the document focus on residential environments. However, new housing development should not be viewed in isolation. Considerations of design and layout must be informed by the wider context, considering not only the

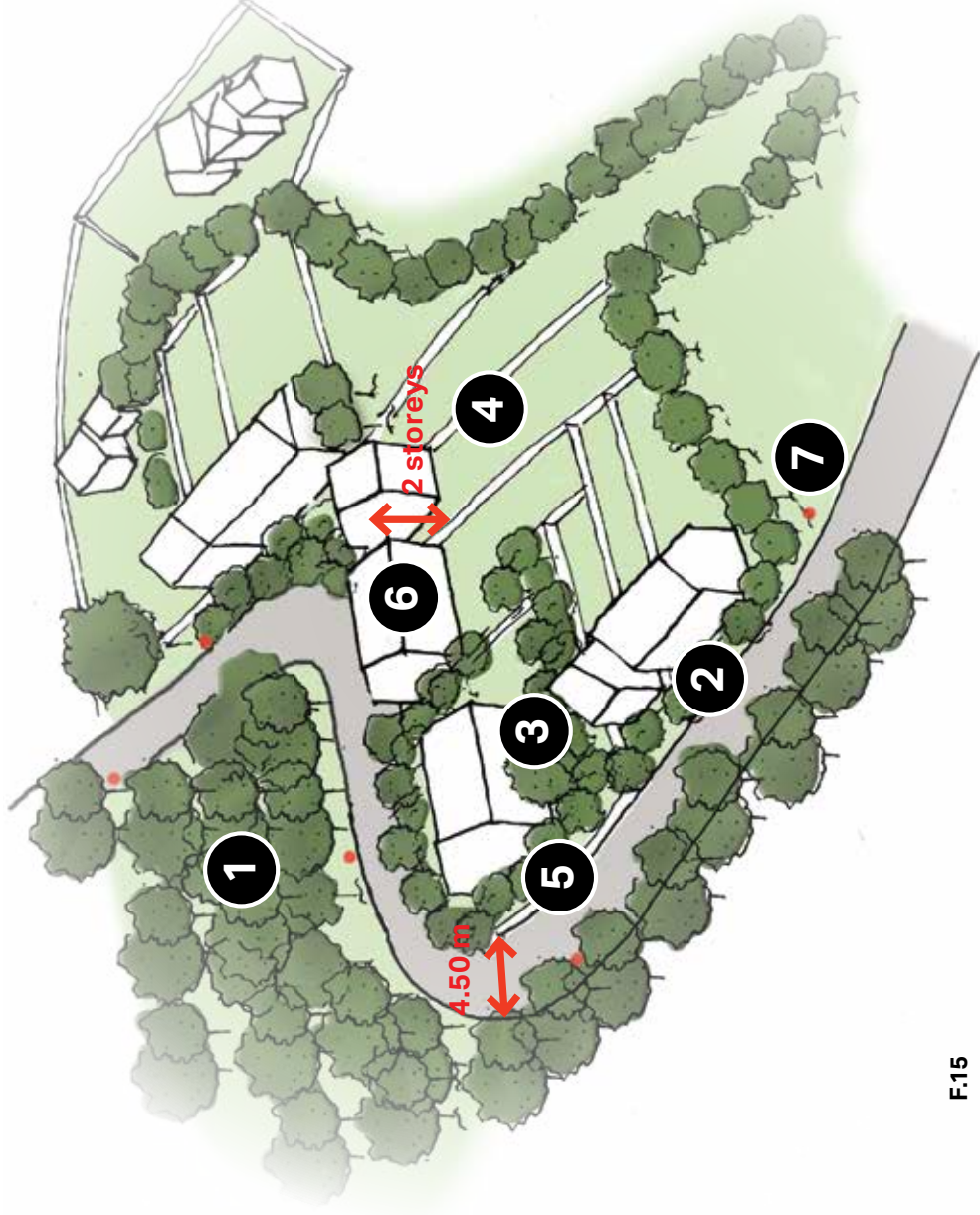
4.2 Site layout and open space principles

Patterns of growth and layout of buildings

- New developments must respect the rural character of the village and the existing patterns and layout of buildings.
- New development must respect the unusual nature of the village topography whereby buildings other than the church and farms are not clearly visible from outside the village. As a result, the village is largely screened from incoming views. To preserve this characteristic of the village, developments on infill and brownfield sites will be preferred over those located at the edge of the settlements.
- New developments must demonstrate a good understanding of the scale, height, building orientation, enclosure, and façade rhythm of the surrounding built environment.
- Boundary treatment should include hedgerows and trees to fit nicely into the surroundings and create a feeling of enclosure. Long, medium height brick walls should be avoided as they diminish the rural character.
- New properties should have a variety of setbacks from the edge of the road with rich vegetation, where possible, on front gardens.
- Any proposal that would adversely affect the physical appearance of the rural lane or give rise to an unacceptable increase in the amount of traffic, noise, or disturbance would be inappropriate.
- Appropriate signage should be incorporated along the road to indicate speed limits, which are 20 mph.

Patterns of growth and layout of buildings

1. Green infrastructure should be protected and enhanced where appropriate.
2. Front gardens, where possible, should be delineated with soft landscape elements and vegetation.
3. Green gaps between properties should be preserved, where possible, whilst tall masonry walls should be avoided.
4. Good sized back gardens with views to the countryside.
5. Variety in building lines should be preserved. Building setbacks should be irregular to enhance the rural character of the village.
6. Building heights should be around 2 storeys to be a good fit in the surroundings.
7. Appropriate signage indicating speed limits should be included. The material and style of those sign posts should be appropriate to the existing character of the village.



F.15

Figure 15: Illustrative plan for a rural edge development highlighting design elements, related to the pattern and layout of buildings

Green infrastructure

- New developments should respect the rich vegetation in the village and preserve it. They should also seek opportunities to enhance it to contribute to the local biodiversity.
- New developments should include proposals for footpaths which will be integrated with the existing network and aim to better connect the existing and proposed open spaces and countryside.
- The spacing of development should reflect the historic and rural character of the area (main village or outlying settlements) and allow for long-distance views of the countryside from the public realm, where these are characteristic. Existing trees and landscaping should be incorporated in the design of new developments.
- Landscape schemes should be designed and integrated with the open fields that currently border the village.

- Any trees, verges, or woodland lost to new development must be replaced. Native trees and shrubs should be used to enhance the rural character of the settlements.
- New developments should propose open spaces to allow for events and activities that enhance the social life of the community.

Large trees along the main streets improve the quality of the place

Rich physical boundaries enhance the landscape of the village

Planting on the facades creates a positive visual impact



F.16

Figure 16: View to illustrate elements that compose the green infrastructure in the village, The Street

Trees

The abundance of trees is an important asset for a place. This is particularly important in Wallington due to its rural character.

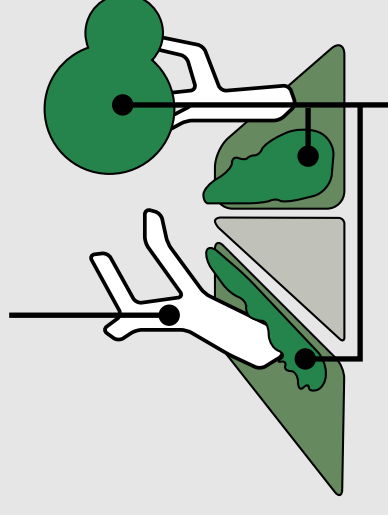
Trees provide shading and cooling, absorb carbon dioxide, act as habitats and green chains for species, reduce air pollution and assist in water attenuation and humidity regulation. In addition, they add life to the landscape and enhance open spaces.

For these reasons, new developments should:

- Preserve existing mature trees, incorporate them in the new landscape design, and use them as landmarks where appropriate.
- Consider canopy size when locating trees; reducing the overall number of trees but increasing the size of trees is likely to have the greatest positive long-term impact.

- Existing tree root zones should be protected to ensure that existing trees can grow to their mature size. Root barriers must be installed where there is a risk of damaging foundations, walls, and underground utilities.
- New trees should be added to strengthen vistas, focal points, and movement corridors while retaining clear visibility of amenity spaces.
- New trees should be integrated into the design of new developments from the outset rather than left as an afterthought to avoid conflicts with above- and below-ground utilities.
- To ensure resilience and increase visual interest, a variety of tree species is preferred over a single one. Species must be chosen according to climate change resilience, adaptation to local soil conditions, environmental benefits, size at maturity, and ornamental qualities.

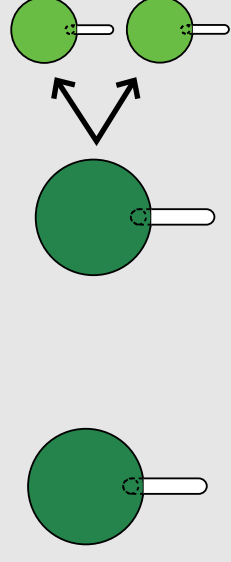
Loss of trees is only justifiable if they constitute hazard to visitors



Protect veteran trees and hedgerows

Justify the loss of trees, and replace each affected tree on a 2:1 ratio

Retain trees on development site



Buildings located at the corners and crossroads can be used as landmarks

Large listed farm buildings stand out from the rest of the setting creating a memorable image

Views and landmarks

Well-designed streets, open spaces, and public realm, together with building forms, are crucial for places to create their own stories in people's minds.

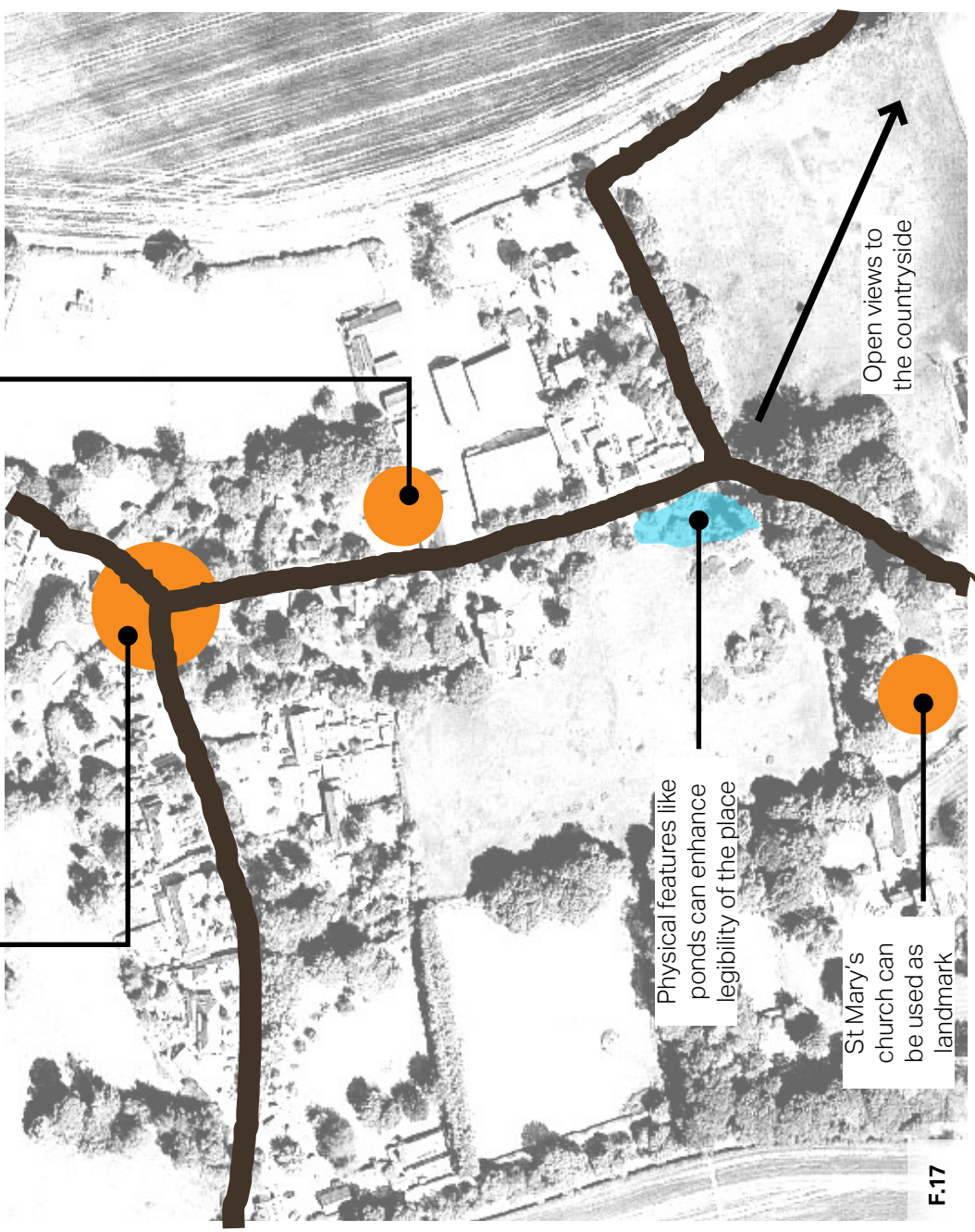
Landmarks, vistas and focal points are the tools to achieve places that are easy to read and memorise, thus helping users to easily orientate themselves.

Creating short-distance views broken by buildings, trees, or landmarks helps to create memorable routes. Creating views and vistas allows easily usable links between places.

New houses should be oriented to maximise the opportunities for memorable views.

Development should be located away from ridge tops, upper valley slopes or prominent locations.

Planning decisions should always attempt to maintain or where possible enhance key views and vistas.



F.17

Figure 17: Sketch to illustrate the elements that can be used as landmarks and enhance legibility

Legibility and wayfinding

When places are well signposted, they are easier for the public to comprehend. People feel safer when they can easily memorise places and navigate around them. It is easier for people to orientate themselves when the routes are direct, particularly for people with dementia and related cognitive and sensory challenges.

- A familiar and recognisable environment makes it easier for people to find their way around. Obvious and unambiguous features should be designed in new development.
- Buildings which are located at corners, crossroads or along a main road could play a significant role in navigation.
- At a local level, landmark elements could be a distinctive house, public art, or even an old and sizeable tree.
- Signage is a common way of helping people to find their way to and around

a place. New signage design should be easy to read. Elements like languages, fonts, text sizes, colours and symbols should be clear and concise, and avoid confusion.

- Signage can also help highlighting existing and newly proposed footpaths and cycle lanes encouraging people to use them more.
- Signage elements and techniques should be appropriate to the character of the area and be a nice fit to the existing architectural style and details.



F.18



F.19



F.20

Figure 18: Signpost for a public footpath in the Neighbourhood Plan Area indicating the distance to and direction of the destinations.

Figure 19: Any element used for wayfinding purpose should respect the existing character of the village. Any proposal should be composed by local materials, aim to highlight key assets in the area (Nature sign design made from Forest Stewardship Council United Kingdom)

Figure 20: Signpost in the Neighbourhood Plan Area indicating the direction of public footpaths and recreational ways.

4.3 Built form

Building modifications and extensions

Extensions to dwellings can have a significant impact not only on the character and appearance of the building, but also on the street scene within which it sits.

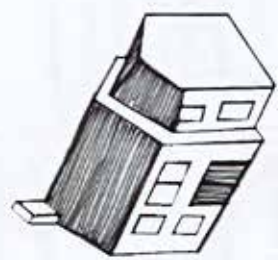
A well-designed extension can enhance the appearance of its street, whereas an unsympathetic extension can have a harmful impact, create problems for neighbouring residents and affect the overall character of the area.

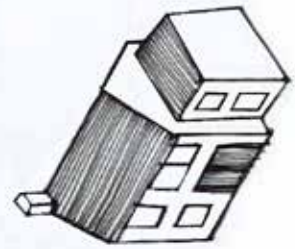
The Planning Portal¹ contains more detailed information on building modifications and extensions, setting out what is usually permitted without planning permission (permitted development) as well as what requires planning permission.

Some general principles of building modifications and extensions can be found below:

- Extensions must be appropriate to the scale, massing and design of the main building, and should complement both the streetscape and the rural setting.
- Alterations and extensions of historic buildings within a conservation area should preserve and where possible enhance the character of the Conservation Area.
- Extensions are more likely to be successful if they do not exceed the height of the original or adjacent buildings. Two-storey extensions, where appropriate, should be constructed with a pitch sympathetic to that of the existing roof.
- The design, materials and architectural detailing of extensions should be high-quality and respond to the host building and the local character of the Neighbourhood Plan area.
- The impact on the space around the building should avoid overlooking, overshadowing, or overbearing.

¹ Planning Portal. https://www.planningportal.co.uk/info/200234/home_improvement_projects




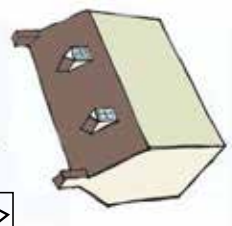


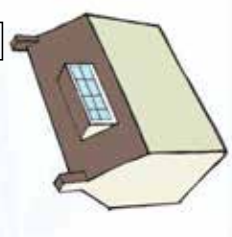
Good example for side extensions, respecting existing building scale, massing and building line.

Both extensions present a negative approach when considering how it fits to the existing building. Major issues regarding roofline and building line.

Design treatment in case of loft conversion:



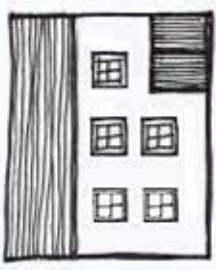


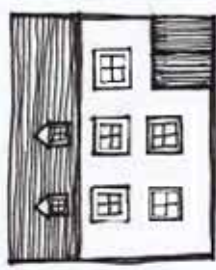


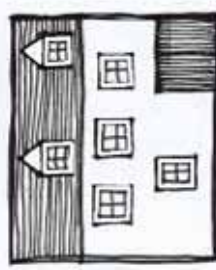
Loft conversion incorporating skylights.

Loft conversion incorporating gabled dormers.

Loft conversion incorporating a long shed dormer which is out of scale with the original building.







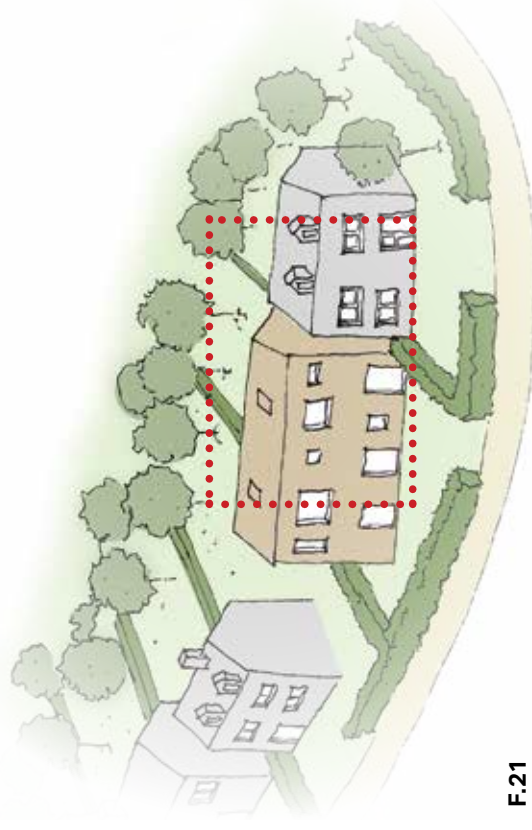
Original roofline of an existing building.

Loft conversion incorporating gabled dormers.

Loft conversion incorporating gabled dormers which are out of scale and do not consider existing window rhythm nor frequency.

Building scale and massing on infill development

- Infill development should complement the street scene and rural setting into which it will be inserted. It does not need to mimic existing styles but its scale, massing and layout need to be in keeping. These also need to be considered in relation to topography, views, vistas and landmarks.
- New building lines should be reasonably consistent along a street with existing buildings. Some places in Wallington have linear or regular meandering arrangements of buildings whilst others have random and irregular patterns.
- The density of a scheme should reflect its context in terms of whether it is at the centre or edge of a town or village, or in a smaller settlement in the rural area. The optimum density will respond to surrounding densities whilst making efficient use of land, meaning that new development will usually be more likely to be higher in density than neighbouring areas.



F.21

Figure 21: Infill development at appropriate scale

Building heights/roofline

Due to the dominance of detached houses and the spacious layout of Wallington, the roofline in the village is informal and irregular.

There are certain elements that serve as guidelines in achieving a good variety of roofs:

- The scale and pitch of the roof should always be in proportion with the dimensions of the building itself.
- Monotonous building elevations should be avoided, therefore subtle changes in roofline should be ensured during the design process. Roof shapes and pitches must however employ a restrained palette on a given building; overly complex roofs must be avoided.
- Locally traditional roof detailing elements such as roofing materials, edge treatments, and dormer styles should be considered and implemented where possible in new developments.

- Dormers can be used as a design element to add variety and interest to roofs. They must be proportional to the mass of the building roof, be vertically aligned to the windows, and be of consistent style across an elevation.

- Future developments should follow the existing styles in rooflines and avoid long stretches of similar roof heights and monotonous rooflines.

Enclosure

Focal points and public spaces in new developments should be designed in good proportions and delineated with clarity. Clearly defined spaces help achieve cohesive and attractive village forms.

They also create an appropriate sense of enclosure - the relationship between a given space (lane, street, square) and the vertical boundary elements at its edges (buildings, walls, trees).

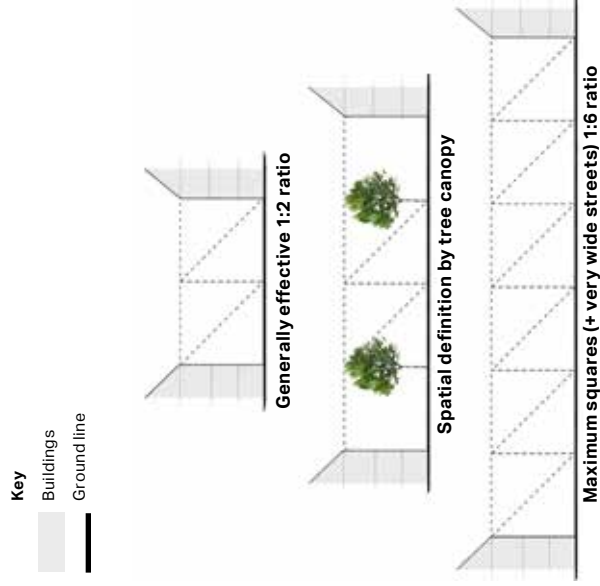
The enclosure level of new developments must reflect an intelligent understanding of their surrounding historic environment.

The centre of Wallington has a higher level of enclosure, further away where the agricultural buildings are located the enclosure level is much lower; those types of buildings are more open to the countryside than the ones in the centre of the village where there is a higher prevalence of front gardens and more distinctive building setbacks.

The following principles serve as general guidelines that should be considered for achieving satisfactory sense of enclosure:

- The existing varying levels of enclosure should be respected and new developments should recommend design that is sensitive to its surroundings.
- When designing building setbacks, there must be an appropriate ratio between the width of the street and the height of the buildings (see diagram opposite).
- Buildings should be designed to turn corners and create attractive start and end points of a new street or frontage.

- Generally, building façades should front onto streets. Variation to the building line can be introduced to create an informal character.
- Trees, hedges, and other landscaping features can help create a more enclosed streetscape in addition to providing shading and protection from heat, wind, rain, and animal incursions e.g. deer.



F.22

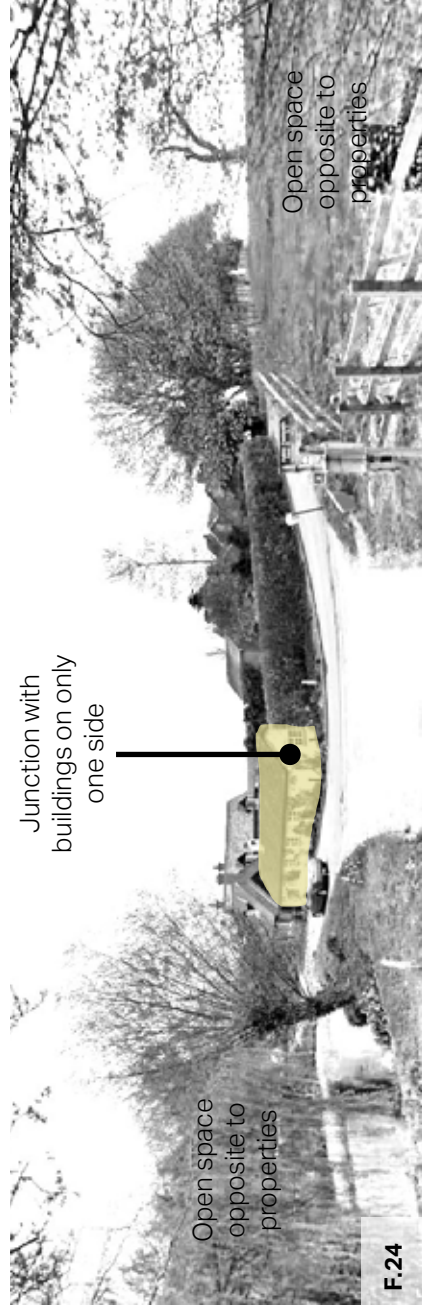
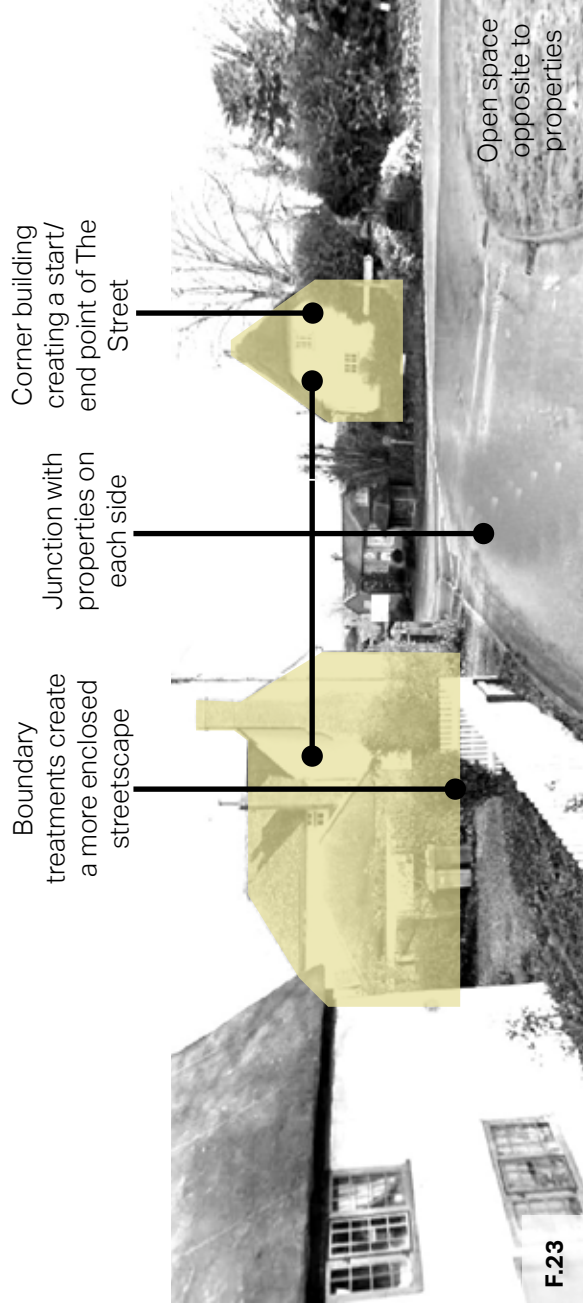


Figure 22: 'Enclosure' is the relationship between the height of the buildings and the distance across the street or space between facing ones. A ratio of 1:2 (top) or 1:3 is generally appropriate for residential streets, with 1:6 (bottom) a general maximum for squares and very wide streets. Enclosure can also be defined by trees instead of buildings (centre)

Figure 23: View to illustrate a higher level of enclosure in the centre of the village

Figure 24: View to illustrate a lower level of enclosure found south of the centre of the village

Gateway and access features

- Future design proposals should consider placing gateway and built elements to clearly mark the access or arrival to any new developed site. This is particularly important for village extensions at the edge of existing settlements due to their location at the interface between the built-up area and the countryside.
- The sense of departure and arrival can often be achieved by a noticeable change in scale, enclosure, or road configuration. It can also be highlighted by the direct presence of, or view towards an easily distinguishable landmark.
- The gateway buildings or features should reflect local character. This could mean larger houses in local materials with emphasis on the design of chimneys and fenestration, or well-laid and cared for landscape. Besides building elements acting as gateways, high-quality landscaping features could be considered appropriate to fulfill the same role.

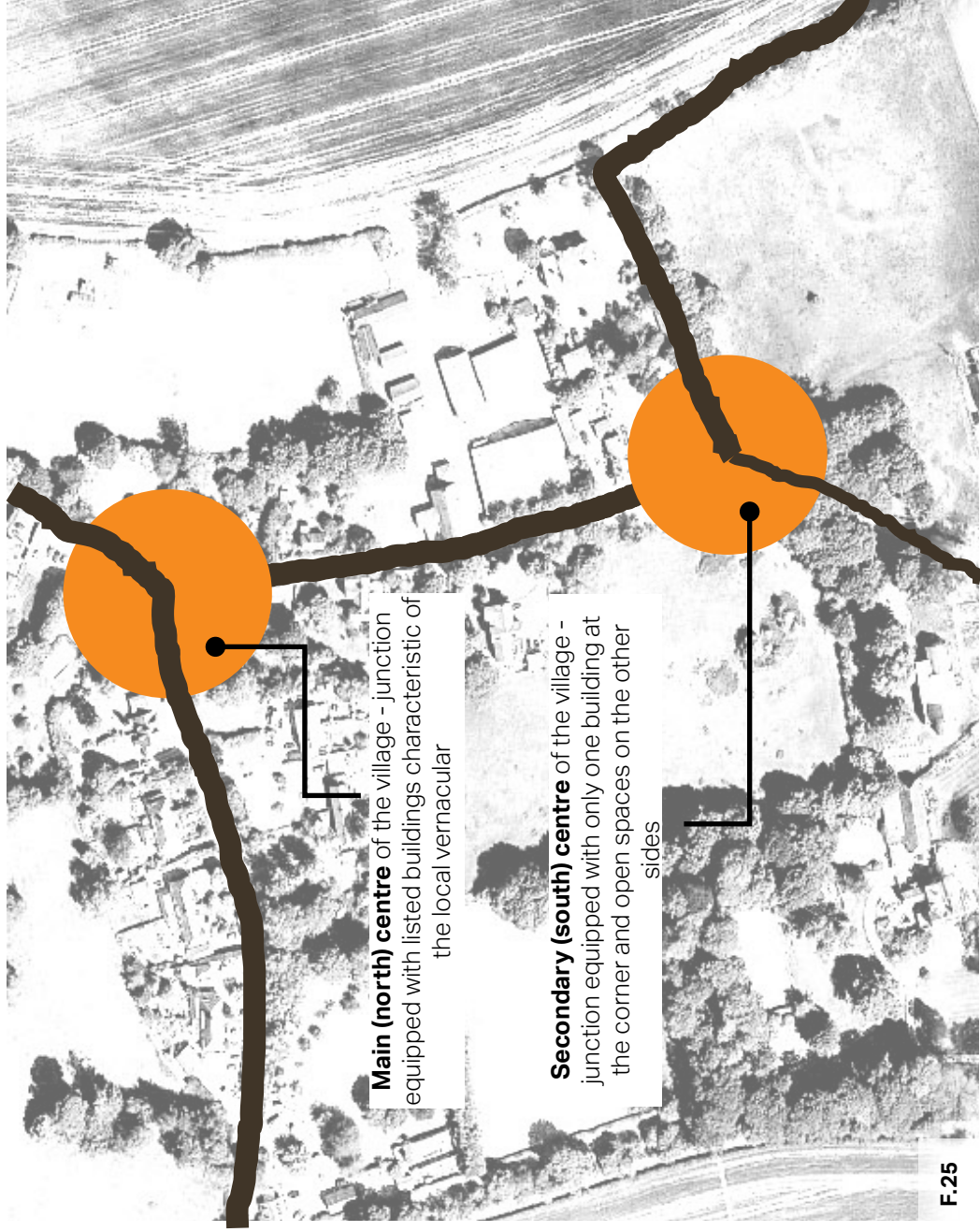


Figure 25: Sketch to illustrate the two centres to the village and the elements that signalise them (Source: Google Earth).

Fenestration

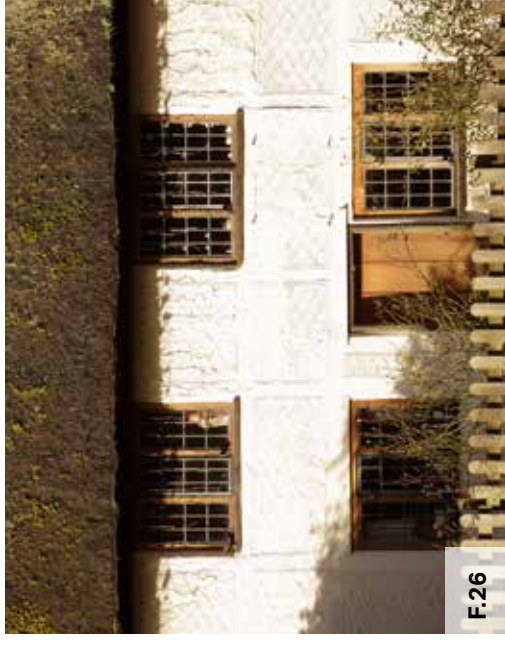
Windows in Wallington are varied in type and arrangement. There are examples of the 'cottage' type common and casement windows.

Some important guidelines that new development should consider in design are:

- Fenestration on public/private spaces increase the natural surveillance and enhances the attractiveness of the place. Long stretches of blank (windowless) walls should be avoided, including on side elevations.
- The number and size of the windows should be proportionate to each elevation. Because sunlight has an important effect on the circadian rhythm, windows must be of sufficient size and number for abundant natural light.
- Site layout and building massing should ensure access to sunshine and avoid overshadowing neighbouring buildings

and gardens. New developments should also maximise opportunities for long-distance views.

- A restrained palette of window styles and shapes must be used across a given façade to avoid visual clutter and dissonance. Within a cluster of buildings, however, diversity in fenestration can add visual interest and avoid monotonous repetitions.
- Necessary window repair or replacement must be sympathetic to the host building and local vernacular, especially within or in proximity to Conservation Areas. Fenestration must reflect an understanding of locally distinctive features such as window rhythm, scale, proportions, materials, ornamentation, and articulation. This should however not result in low-quality pastiche replica.



F.26



F.27

Figure 26: Casement windows are the prevailing type of fenestration found in listed buildings in the centre of the village with a consistent window alignment on the facade

Figure 27: More modern developments that are sensitive to the historic context using an appropriate style and colour palette on the windows.

Building line and boundary treatment

Properties in Wallington are well equipped with rich physical boundary treatments that enhance the level of enclosure and the feeling of being closer to nature. For that reason, new developments should respect boundary treatments and:

- Front onto, and have access from, the street or public space. Dead frontages should be avoided.
- Ensure that streets and/or public spaces have good levels of natural surveillance from the buildings. This can be ensured by placing ground floor habitable rooms and upper floor windows facing the street.
- Have setbacks that can provide front gardens, or alternatively small areas that offer buffer zones between private and public spaces. Building setbacks should be varied by street level, local character, and type of structure.

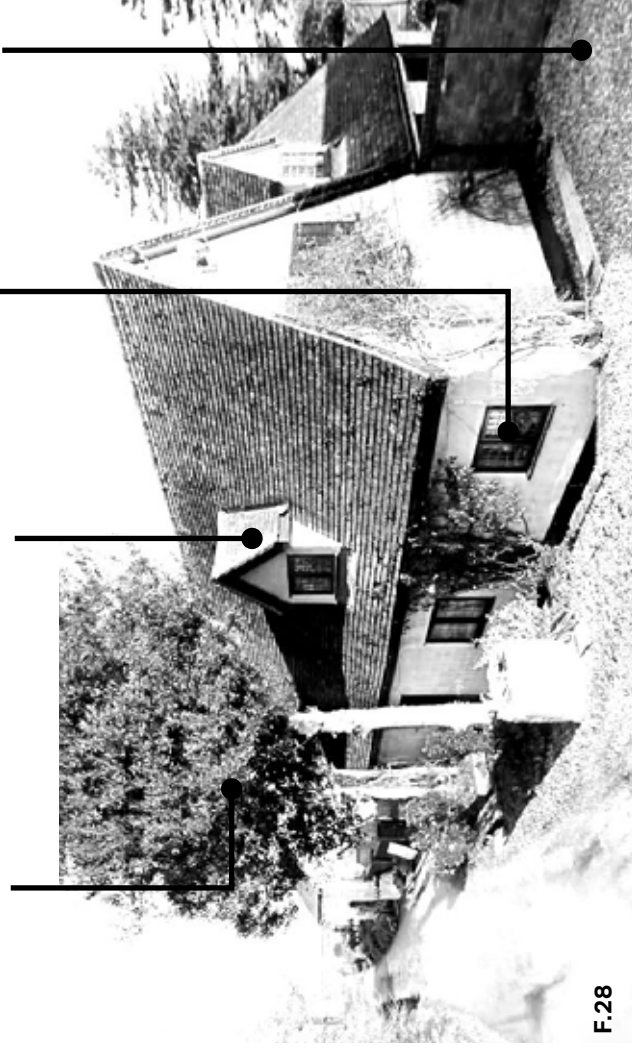
- Propose solutions for waste storage integrating as part of the overall design of the property. Landscaping could also be used to minimise the visual impact of bins and recycling containers.

Main facades of the building should front the main street

Upper floors may be also equipped with windows

Car parking and service areas should not be on the main facade and avoid obstructing the views to the road

Buffer zone to separate public from private spaces



F.28

Figure 28: View to illustrate elements that compose the green infrastructure in the village, The Street

Materials and building details

The materials and architectural detailing used in the village contribute to the historic character of the area and the local vernacular.

It is therefore important that the materials used in proposed development are of a high quality and reinforce local distinctiveness. Any future development proposals should demonstrate that the palette of materials has been selected based on a solid knowledge of the local vernacular style and traditions.

In new developments and renovations, locally sourced bricks or bricks that match the buildings in the surrounding area would be the most appropriate.

Particular attention should be given to the bonding pattern, size, colour, and texture of bricks.

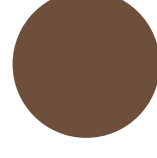
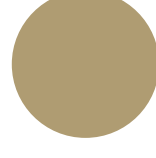
Colour palettes

Any future development proposals should demonstrate that the palette of rendering colours (building materials or paint) has been selected based on an understanding of the surrounding built environment.

Generally, for inspiration and appropriate examples, the developers should look at the historic cores of the settlements and the surrounding area. Each development should be designed with the specific location in mind and its immediate surroundings.

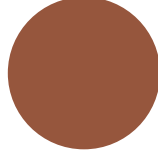
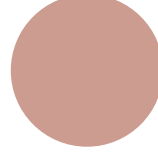
This section includes examples of building materials that contribute to the local vernacular of the village and that could be used to inform future development.

COLOUR PALETTES



Warm beige tones for rendering and as colour choice for building material.

Undertones: ochre, grey and brown.



Earthy tones for rendering and as colour choice for building material.

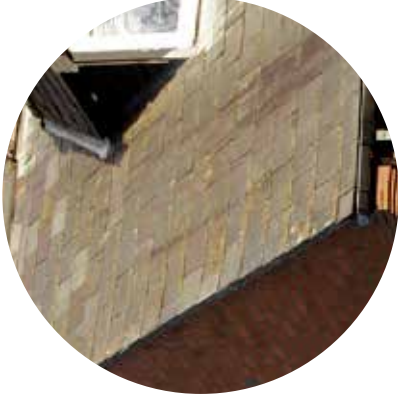
Undertones: yellow, red brick and taupe.



HALF HIP ROOF



THATCH ROOF



SLATE ROOF



RED BRICK



BLACK WEATHERBOARDING



OFF-WHITE RENDER



COLOURED RENDER



GABLED DORMER



CASEMENT WINDOW



CLAY PLAIN TILES



LANDSCAPED BOUNDARY HEDGE



TIMBER FENCING

4.4 Access and movement

Provide meaningful connections

Good practice favours a generally connected street layout that makes it easier to travel by foot and cycle. Wallington has a good number of footpaths that connect it to the surrounding countryside. For that reason, new development should:

- Provide direct and attractive footpaths between neighbouring streets.
- Propose routes laid out in a permeable pattern, allowing for multiple connections and choice of routes, particularly on foot. Any cul-de-sacs should be relatively short and provide onward pedestrian links.
- If the design proposal calls for a new street or cycle/pedestrian link, it must connect destinations and origins.
- Avoid design features such as barriers to pedestrian movements, gated new

developments, or footpaths between high fences.

- Offer a variety of open spaces that can host a diverse range of activities and accommodate different users.
- Should enhance the character of the existing open spaces by either providing a positive interface (i.e. properties facing onto them to improve natural surveillance) or a soft landscaped edge.



F.29



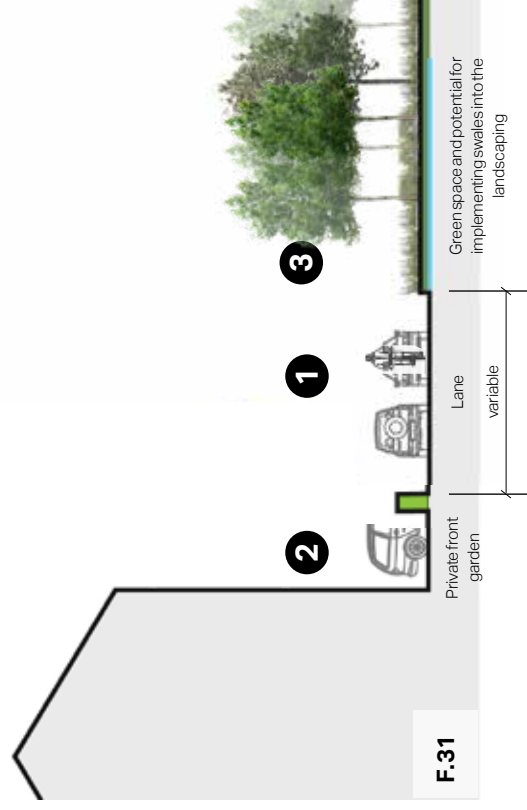
F.30

Figure 29: Example of a bridleway footpath in the village area.

Figure 30: Example of signage in the village area.

Main entrances to the village

- Main entrances to the village should retain the rural character by preserving, if possible, any type of green asset.
- Edge lanes should be low-speed roads that front houses with gardens on one side and a green space on the other. Carriageways may typically consist of a single lane of traffic in either direction, and could be shared with cyclists.
- The lane width may vary to discourage speeding and introduce a more informal and intimate character, however should remain narrow to retain the rural character. Variations in paving materials and textures can be used instead of kerbs or road markings.
- Swales and rain gardens could be also added into the landscaping to address any flooding issue.
- New edge lanes should be continuations providing high level of connectivity and movement. Cul-de-sacs must be avoided where possible.



1. Shared lane (local access) - width can vary but should remain narrow to retain rural character and discourage speeding.
2. Residential frontage with boundary hedges and front gardens.
3. Green space and potential for implementing swales into the landscaping.

Figure 31: Section showing indicative dimensions for a shared edge lane

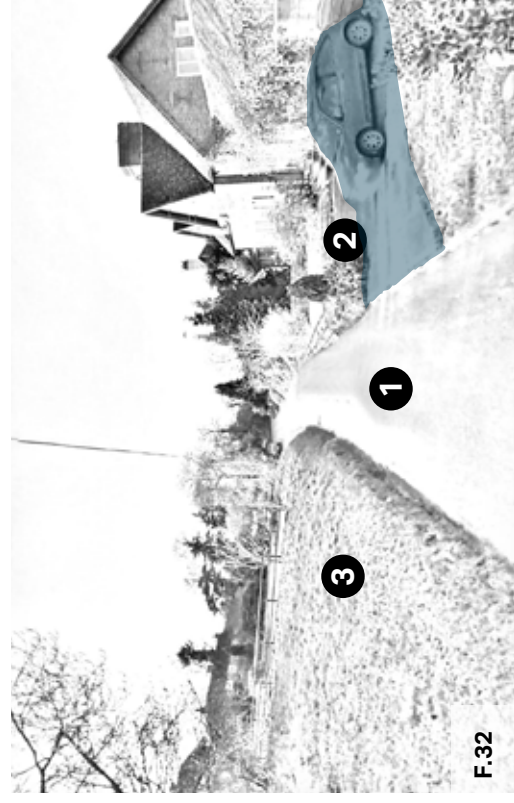


Figure 32: Example of this road section in the village, Kit's Lane

4.5 Parking

Vehicle parking

At the time of writing, the demand for private cars remains high and these have to be carefully integrated into neighbourhoods. There is no single best approach to domestic car parking.

A good mix of parking typologies should be deployed, depending on and influenced by location, topography and market demand. The main types to be considered are the ones below.

- For family homes, cars should be placed at the front or side of the property.
- Car parking design should be combined with landscaping to minimise the presence of vehicles.
- Parking areas and driveways should be designed to minimise impervious surfaces, for example through the use of permeable paving.

- When placing parking at the front, the area should be designed to minimise visual impact and to blend with the existing streetscape and materials. The aim is to keep a sense of enclosure and to break the potential of a continuous area of car parking in front of the dwellings by means of walls, hedging, planting, and use of differentiated quality paving materials.
- Cycle parking must be integrated into all new housing.
- The integration of electric vehicle charging points should be encouraged in both retrofits and new parking areas.

On-plot side or on front parking

- On-plot parking can be visually attractive when it is combined with high quality and well-designed soft landscaping. Front garden depth from pavement back must be sufficient for a large family car.
- Boundary treatment is the key element to help avoid a car-dominated character. This can be achieved by using elements such as hedges, trees, flower beds, low

walls, and high-quality paving materials between the private and public space.

- Hard standing and driveways must be constructed from porous materials to minimise surface water run-off.

On-plot garages

- Where provided, garages must be designed either as free-standing structures or as additive form to the main building. In both situations, it must complement and harmonise with the architectural style of the main building rather than forming a mismatched unit.
- Often, garages can be used as a design element to create a link between buildings, ensuring continuity of the building line. However, it should be considered that garages are not prominent elements and they must be designed accordingly.
- Considerations must be given to the integration of bicycle parking, electric vehicle charging points, and/or waste storage into garages.

Guidelines for car parking in the village

Some guidelines for car parking should be:

1. Side parking should set back from the main building line. Permeable pavement to be used whenever possible. Areas of impervious surfaces should be minimised.
2. Garage structures should be set back from the main building line. Their height and bulk should be subservient to those of the main building.
3. Boundary hedges should screen vehicles and parking spaces. Front parking areas should have parts of their surface reserved for soft landscaping. Permeable pavement should be used whenever possible.



Figure 33: Example of front parking along The Street

Figure 34: Example of on plot garage along The Street

Bicycle parking

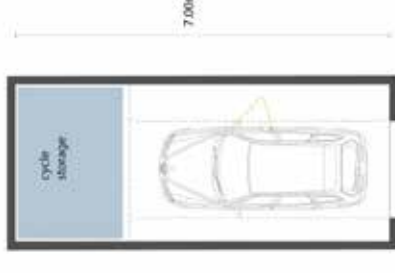
A straightforward way to encourage cycling is to provide secured covered cycle parking within all new residential developments and publicly available cycle parking in the public realm.

Houses without garages

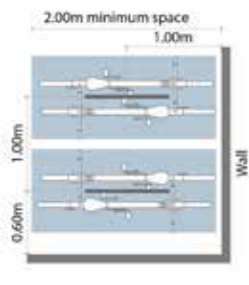
- Cycle storage must be provided at a convenient location with an easy access.
- When provided within the footprint of the dwelling or as free-standing shed, cycle parking should be accessed by means of a door at least 900mm and the structure should be at least 2m deep.
- Parking should be secure, covered and it should be well integrated into the streetscape if it is allocated at the front of the house.
- The use of planting and smaller trees alongside cycle parking can be used to mitigate any visual impact on adjacent spaces or buildings.

Houses with garages

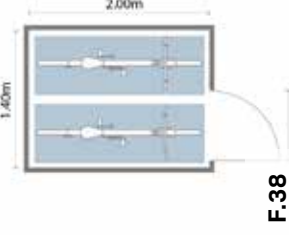
- The minimum garage size should be 7m x 3m to allow space for cycle storage.
- Where possible cycle parking should be accessed from the front of the building either in a specially constructed enclosure or easily accessible garage.
- The design of any enclosure should integrate well with the surroundings.
- The cycle must be removed easily without having to move the vehicle.



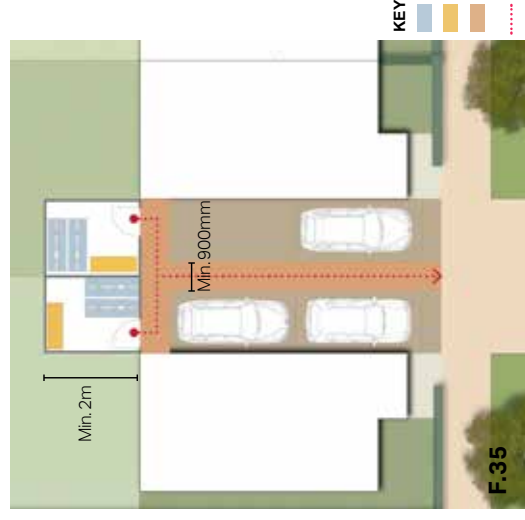
F.36



F.37



F.38



F.35

Figure 35: Indicative layout of a bicycle and bin storage areas at the back of semi-detached properties.

Figure 36: Indicative layout of a garage with a cycle storage area.

Figure 37: Sheffield cycle stands for visitors and cycle parking illustration.

Figure 38: Secure covered cycle store for two cycle storage illustration.

4.6 Eco design

Solar roof panels

Solar panels over a rooftop can have a positive environmental impact however, their design and installation should be done carefully considering potential implications within Conservations Areas. Preserving the character of the village should be a priority.

Some solutions of sensitive implementation of solar roof panels are suggested as follows:

On new builds:

- Design solar panel features from the start, forming part of the design concept. Some attractive options are solar shingles and photovoltaic slates.
- Use the solar panels as a material in their own right.

On retrofits:

- Analyse the proportions of the building and roof surface in order to identify the best location and sizing of panels.
- Careful consider the location of solar panels on buildings within the Wallington Conservation Area. It might be appropriate to introduce solar panels to areas of the building that are more concealed in order to preserve the character and appearance of the Conservation Area.
- Solar panels can be added to listed buildings, but they need to be carefully sited and consent will be required.



F.39



F.40

Figure 39: Integration of solar panels on the south-facing pane of the roof of a new house in Lingfield, Surrey

Figure 40: Use of shingle-like solar panels on a slate roof, with the design and colour of the solar panels matching those of the adjacent slate tiles in Lingfield, Surrey

Sustainable drainage solutions

There are ongoing drainage capacity and flooding issues in Wallington. The proposed approaches mentioned in the following pages would significantly ameliorate the existing condition although they would not fully resolve it given the main drainage issues.

This section outlines a range of sustainable drainage solutions (SuDS) to some of the ongoing drainage capacity and flooding problems in Wallington. Although these design interventions can help improve drainage in the Parish, other solutions might be needed to solve the main drainage issues.

The term SuDS stands for Sustainable Drainage Systems. It covers a range of approaches to managing surface water in a more sustainable way to reduce flood risk and improve water quality whilst improving amenity benefits.

SuDS work by reducing the amount and rate at which surface water reaches a waterway or combined sewer system. Usually, the most sustainable option is collecting this water for reuse, for example in a water butt or rainwater harvesting system, as this has the added benefit of reducing pressure on important water sources.

Where reuse is not possible there are two alternative approaches using SuDS:

- Infiltration, which allows water to percolate into the ground and eventually restore groundwater.
- Attenuation and controlled release, which holds back the water and slowly releases it into the sewer network. Although the overall volume entering the sewer system is the same, the peak flow is reduced. This reduces the risk of sewers overflowing. Attenuation and controlled release options are suitable when either infiltration is not possible (for example where the water table is high or soils are clay) or where infiltration could be polluting (such as on contaminated sites).

The most effective type or design of SuDS would depend on site-specific conditions such as underlying ground conditions, infiltration rate, slope, or presence of ground contamination. A number of overarching principles can however be applied:

- Manage surface water as close to where it originates as possible.
- Reduce runoff rates by facilitating infiltration into the ground or by providing attenuation that stores water to help slow its flow down so that it does not overwhelm water courses or the sewer network.
- Improve water quality by filtering pollutants to help avoid environmental contamination.
- Form a 'SuDS train' of two or three different surface water management approaches.

- Integrate into development and improve amenity through early consideration in the development process and good design practices.
- SuDS are often as important in areas that are not directly in an area of flood risk themselves, as they can help reduce downstream flood risk by storing water upstream.
- Some of the most effective SuDS are vegetated, using natural processes to slow and clean the water whilst increasing the biodiversity value of the area.
- Best practice SuDS schemes link the water cycle to make the most efficient use of water resources by reusing surface water.
- SuDS must be designed sensitively to augment the landscape and provide biodiversity and amenity benefits.



Figure 41: Examples of SuDS designed as a public amenity and fully integrated into the design of the public realm in Stockholm, Sweden

Storage and slow release

Rainwater harvesting refers to the systems allowing the capture and storage of rainwater as well as those enabling the reuse in-site of grey water.

Simple storage solutions, such as water butts, can help provide significant attenuation. To be able to continue to provide benefits, there has to be some headroom within the storage solution.

If water is not reused, a slow release valve allows water from the storage to trickle out, recreating capacity for future rainfall events. New digital technologies that predict rainfall events can enable stored water to be released when the sewer has greatest capacity to accept it.

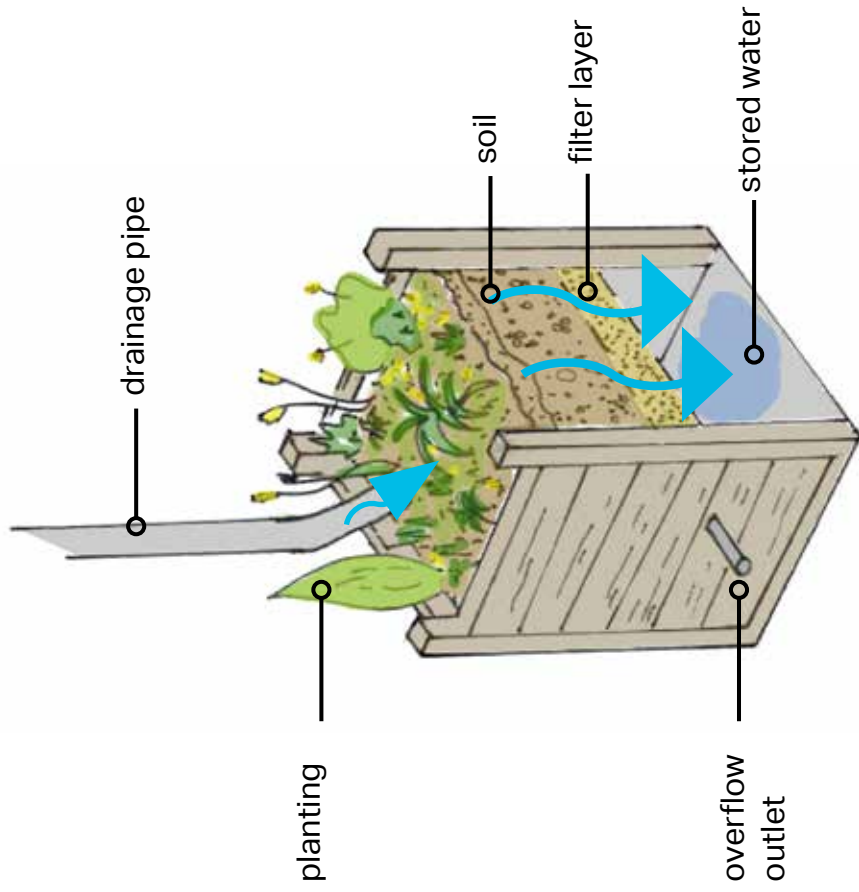
These systems involve pipes and storage devices that could be unsightly if added without an integral vision for design. Therefore, some design recommendation would be to:

- Conceal tanks by cladding them in complementary materials.
- Use attractive materials or finishing for pipes.
- Combine landscape/planters with water capture systems.
- Underground tanks.
- Utilise water bodies for storage.



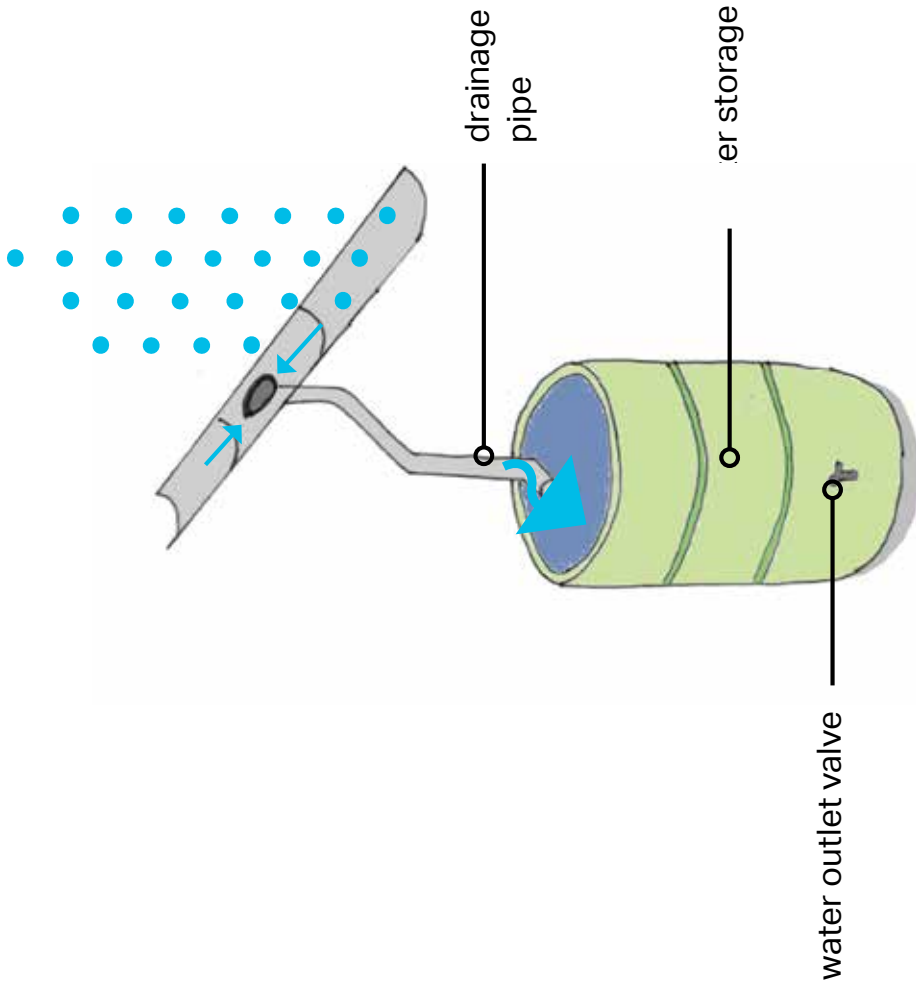
Figure 42: Examples of water butts used for rainwater harvesting in Reach, Cambridgeshire

F.42



F.43

Figure 43: Diagram illustrating the functioning of a stormwater planter



F.44

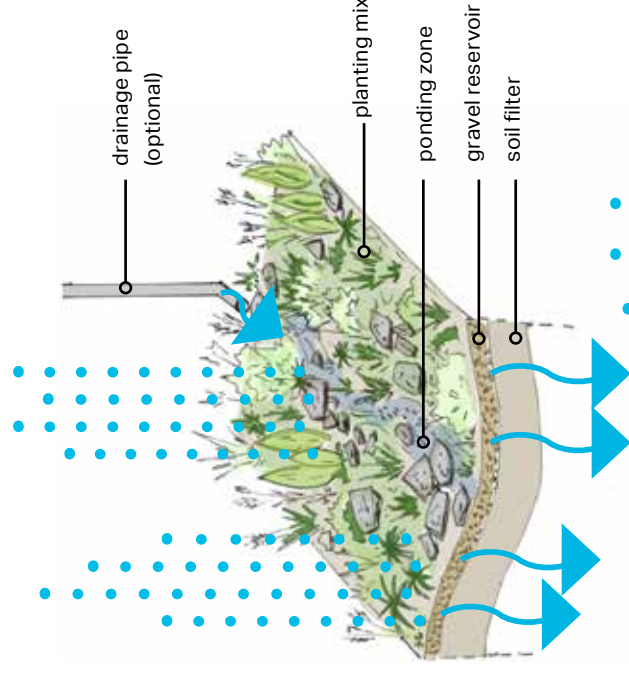
Figure 44: Diagram illustrating the functioning of a water butt

Bioretention systems

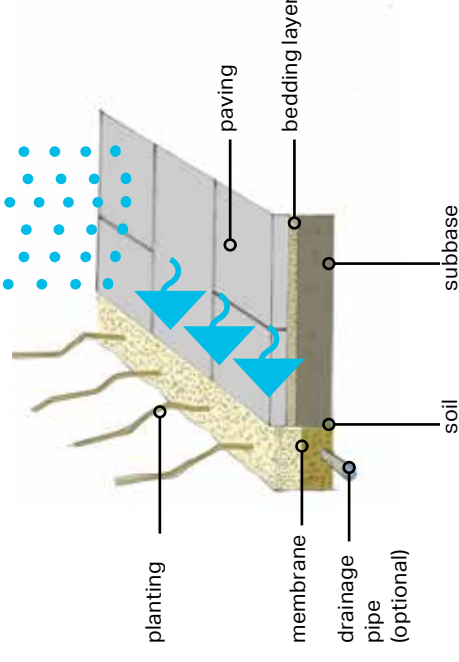
Bioretention systems, including soak away and rain gardens, can be used within each development, along verges, and in semi-natural green spaces. They must be designed to sit cohesively with the surrounding landscape, reflecting the natural character of the Parish. Vegetation must reflect that of the surrounding environment.

They can be used at varying scales, from small-scale rain gardens serving individual properties, to long green-blue corridors incorporating bioretention swales, tree pits and mini-wetlands, serving roads or extensive built-up areas.

These planted spaces are designed to enable water to infiltrate into the ground. Cutting of downpipes and enabling roof water to flow into rain gardens can significantly reduce the runoff into the sewer system. The UK Rain Garden Design Guidelines provides more detailed guidance on their feasibility and suggests planting to help improve water quality as well as attract biodiversity.¹



F.45



F.46

Figure 45: Diagram illustrating the functioning of a rain garden

Figure 46: Diagram illustrating the functioning of a soakaway garden

Electric vehicle charging points

- New developments should incorporate charging points to respond to the growing popularity of electric vehicles (EV). Existing properties may also be retrofitted for the same purpose.
- When mounted charging points and associated are used in new constructions or retrofits, they should be designed to minimise visual clutter, in particular main façades and front elevations.



Figure 47: Off-street mounted car charging point

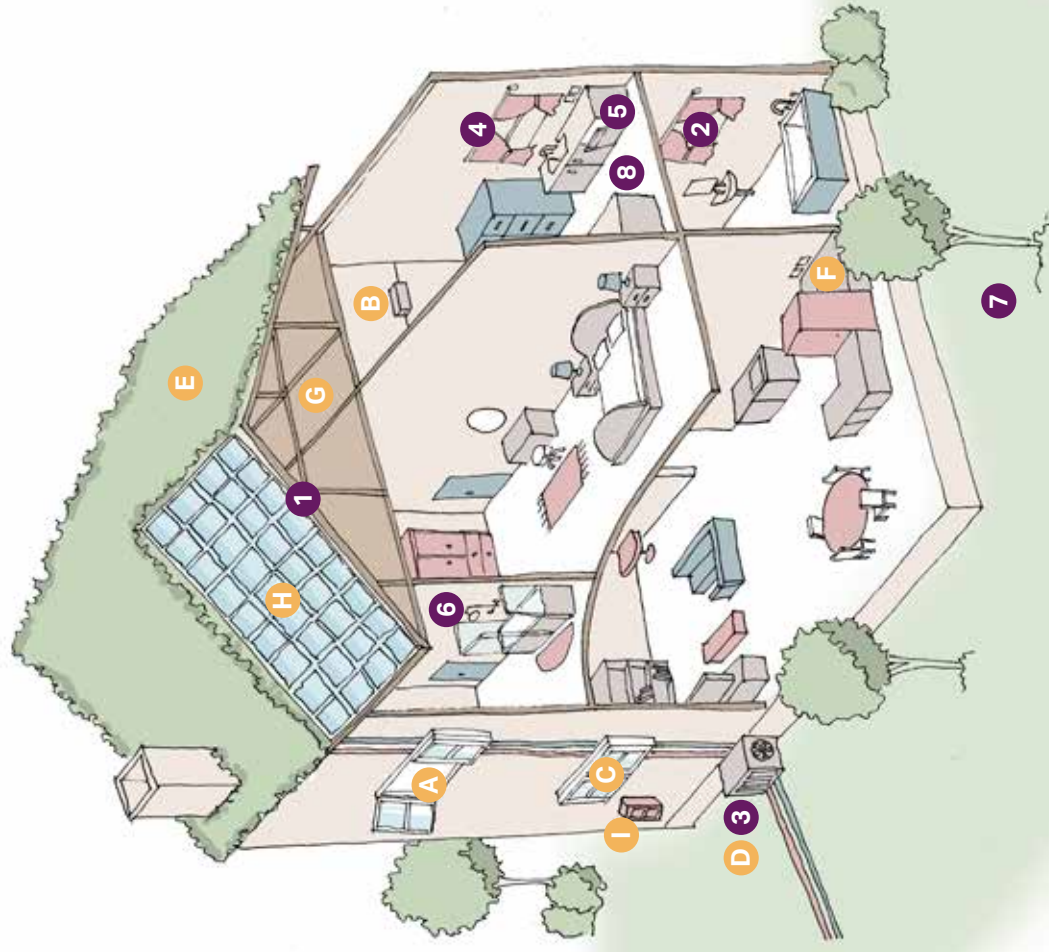
Low-carbon homes

Energy efficient or eco design combines all-round energy efficient construction, appliances, and lighting with commercially available renewable energy systems, such as solar water heating and solar electricity.

Starting from the design stage, there are strategies that can be incorporated towards passive solar heating, cooling and energy efficient landscaping which are determined by local climate and site conditions. The retrofit of existing buildings with eco design solutions should also be encouraged.

The aim of these interventions is to reduce overall home energy use as cost effectively as the circumstances permit. The final step towards a high-performance building would consist of other on-site measures towards renewable energy systems.










It must be noted that eco design principles do not prescribe a particular architectural style and can be adapted to fit a wide variety of built characters. A wide range of solutions is also available to retrofit existing buildings, including historic and listed properties, to improve their energy efficiency while respecting the architectural heritage.



Existing homes

- 1  **Insulation** in lofts and walls (cavity and solid)
- 2  **Double or triple glazing with shading** (e.g. tinted window film, blinds, curtains and trees outside)
- 3  **Low-carbon heating** with heat pumps or connections to district heat network
- 4  **Draught proofing** of floors, windows and doors
- 5  **Highly energy-efficient appliances** (e.g. A++ and A+++ rating)
- 6  **Highly waste-efficient devices** with low-flow showers and taps, insulated tanks and hot water thermostats
- 7  **Green space (e.g. gardens and trees)** to help reduce the risks and impacts of flooding and overheating
- 8  **Flood resilience and resistance** with removable air back covers, relocated appliances (e.g. installing washing machines upstairs), treated wooden floors

New build homes

- A  **High levels of airtightness**
- B  **More fresh air** with mechanical ventilation and heat recovery, and passive cooling
- C  **Triple glazed windows and external shading** especially on south and west faces
- D  **Low-carbon heating** and no new homes on the gas grid by 2025 at the latest
- E  **Water management and cooling** more ambitious water efficiency standards, green roofs and reflective walls
- F  **Flood resilience and resistance** e.g. raised electrical, concrete floors and greening your garden
- G  **Construction and site planning** timber frames, sustainable transport options (such as cycling)
- H  **Solar panel**
- I  **Electric vehicle charging point** also known as EV charging point

F.48

Figure 48: Diagram showing low-carbon homes in both existing and new build conditions (adapted from Commission on Climate Change)

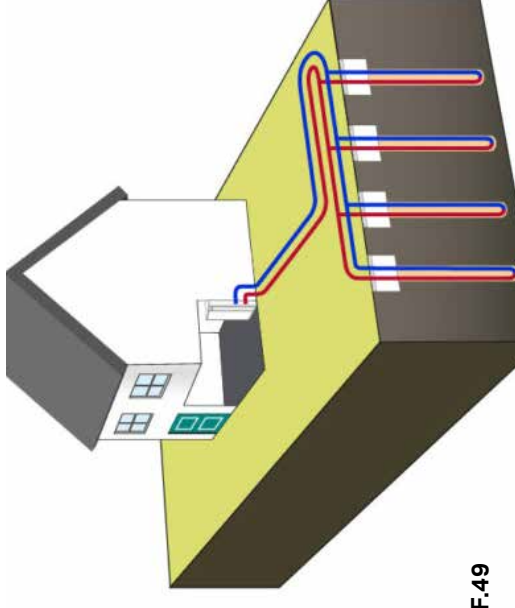
Heat Pumps

Heat pumps are systems that move heat from one place to another by using a compressor and circulating a structure of liquid or gas refrigerant. Through this, the heat is extracted from outside sources and then pumped indoors.

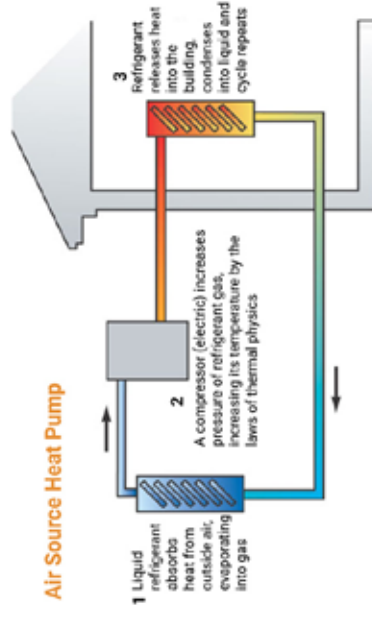
Pumping the heat tends to use a lot less electrical energy than the typical methods of turning electricity into heat. Plus, during summer months, the cycle can be reversed and the unit will act as an air conditioner instead, making it multi-functional.

Heat pumps are the most efficient alternative to fuel, oil and electrical systems, when it comes to the process of heating and cooling. They supply a larger capacity of heating and cooling than the amount of electrical energy that is used to run it.

In addition, there are also energy efficient and renewable energy solutions by using ground source heat pumps, where the heat from the ground is extracted to generate heating and hot water, reducing the energy bills and carbon footprint.



F.49



F.50

Figure 49: Illustration of a vertical ground source heat pump.
Reference: <https://www.nu-heat.co.uk/renewables/heat-pumps/ground-source-heat-pumps/>

Figure 50: Illustration of an air source heat pump. Reference: <https://thermafy.com/2020/03/11/heat-pumps-heating-without-co2-production/>

Servicing

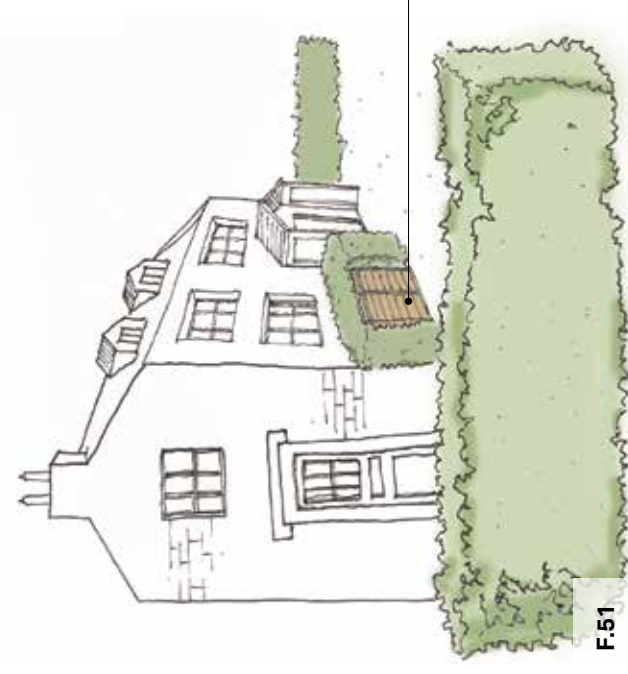
With modern requirements for waste separation and recycling, the number and size of household bins has increased. This poses a problem with the aesthetics of the property. Therefore, we recommend the following:

- When dealing with waste storage, servicing arrangements and site conditions should be taken into account; in some cases waste management should be from the front of the building and in others, from the rear. It is recommended that bins are located away from areas used as amenity space.
- Create a specific enclosure of sufficient size for all the necessary bins.
- Bins should be placed as close to the dwelling's boundary and the public highway, such as against a wall, fence, hedge but not in a way as to obstruct the shared surface for pedestrian and vehicle movements.

Electric vehicle charging points

Each new residential unit with dedicated parking facilities should provide electric vehicle charging points or have parking areas that can be easily adapted to incorporate electric charging points at a later date. Efforts should be made to cater for electric cars, mobility scooters, and bicycles.

- Place it within easy access from the street and, where possible, with the ability to open on the pavement side to ease retrieval.
- Refer to the materials palette to analyse what would be a complementary material.
- Add to the environmentally sustainable design by incorporating a green roof element to it.
- It could be combined with cycle storage.



Bin storage design, minimising the visual impact of bins and recycling containers.

Figure 51: Bin storage design solution

4.7 General questions to ask and issues to consider when presented with a development proposal

Because the design guidelines of this chapter cannot cover all design eventualities, this section provides a number of questions based on established good practice against which the design proposal should be evaluated.

The aim is to assess all proposals by objectively answering the questions below. Not all the questions will apply to every development. The relevant ones, however, should provide an assessment as to whether the design proposal has taken into account the context and provided an adequate design solution.

As a first step there are a number of ideas or principles that should be present in the proposals. The proposals or design should:

1. Integrate with existing paths, streets, circulation networks and patterns of activity.

2. Reinforce or enhance the established village or smaller settlement character of streets, greens, and other spaces.
3. Respect the rural character of views and gaps.
4. Harmonise and enhance existing settlement in terms of physical form, architecture and land use.
5. Relate well to local topography and landscape features, including prominent ridge lines and long-distance views.
6. Reflect, respect, and reinforce local architecture and historic distinctiveness.
7. Retain and incorporate important existing features into the development.
8. Respect surrounding buildings in terms of scale, height, form and massing.
9. Adopt contextually appropriate materials and details.
10. Provide adequate open space for the development in terms of both quantity and quality.
11. Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features.
12. Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other.
13. Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours.
14. Positively integrate energy efficient technologies e.g. car charging points, solar panels, heat pumps.

Following these ideas and principles, there are number of questions related to the design guidelines outlined later in the document.

Street grid and layout

- Does it favour accessibility and connectivity over cul-de-sac models? If not, why?
- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists, and those with disabilities?
- What are the essential characteristics of the existing street pattern? Are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

Green spaces, views and character

- What are the particular characteristics of this area which have been taken into account in the design; i.e. what are the landscape qualities of the area?
- Does the proposal maintain or enhance any identified views or views in general?
- How does the proposal affect the trees on or adjacent to the site?
- Has the proposal been considered within its wider physical context?
- Has the impact on the landscape quality of the area been taken into account?
- In rural locations, has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal affect the character of a rural location?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?

- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?
- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity spaces be created? If so, how will this be used by the new owners and how will it be managed?

Gateway and access features

- What is the arrival point, how is it designed?
- Does the proposal maintain or enhance the existing gaps between settlements?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

Buildings layout and grouping

- What are the typical groupings of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the townscape?
- What effect would the proposal have on the streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens? How is this mitigated?

Building line and boundary treatment

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?

- Has the appropriateness of the boundary treatments been considered in the context of the site?

Building heights and roofline

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing, and scale?
- If a higher than average building is proposed, what would be the reason for making the development higher?

Household extensions

- Does the proposed design respect the character of the area and the immediate neighbourhood, or does it have an adverse impact on neighbouring properties in relation to privacy, overbearing, or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?

- Do the proposed materials match those of the existing dwelling?
- In case of side extension, does it retain important gaps within the street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?

Building materials and surface treatment

- What is the distinctive material in the area, if any?
- Does the proposed material harmonise with the local materials?
- Does the proposal use high-quality materials?

- Have the details of the windows, doors, eaves, and roof been addressed in the context of the overall design?
- Do the new proposed materials respect or enhance the existing area or adversely change its character?

Car parking solutions

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?

Architectural details and contemporary design

- If the proposal is within a Conservation Area, how are the characteristics reflected in the design?
- Does the proposal harmonise with the adjacent properties? This means that it follows the height, massing, and general proportions of adjacent buildings and how it takes cues from materials and other physical characteristics.
- Does the proposal maintain or enhance the existing landscape features?
- Has the local architectural character and precedent been demonstrated in the proposals?
- If the proposal is a contemporary design, are the details and materials of a sufficiently high enough quality and does it relate specifically to the architectural characteristics and scale of the site?

Sustainable design

- Are the proposed building materials eco-friendly?
- Has the proposed scheme included eco-friendly alternative power sources?
- Are there proposals for wildlife corridors to enhance biodiversity?
- Are the existing planting and vegetation being preserved in the proposed scheme?
- Have alternative transportation methods (walking, cycle routes) been considered in the proposed scheme?



Delivery

05



5. Delivery

The Design Guidelines and Codes will be a valuable tool in securing context-driven, high quality development within Wallington. They will be used in different ways by different actors in the planning and development process, as summarised in the table.

ACTORS

HOW THEY WILL USE THE DESIGN GUIDELINES AND CODES

Applicants, developers, and landowners

As a guide to community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the Guidelines and Codes as planning consent is sought.

Local Planning Authority

As a reference point, embedded in policy, against which to assess planning applications.

The Design Guidelines and Codes should be discussed with applicants during any pre-application discussions.

Parish Council

As a guide when commenting on planning applications, ensuring that the Design Guidelines and Codes are complied with.

Community organisations

As a tool to promote community-backed development and to inform comments on planning applications.

Statutory consultees

As a reference point when commenting on planning applications.

About AECOM

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Appendix D – Non-designated heritage assets

There are 19 individual/ collections of historic buildings and structures currently nationally listed in Wallington. A list can be found here: <https://britishlistedbuildings.co.uk/england/wallington-north-hertfordshire-hertfordshire>. The following non-nationally listed assets were identified as being of local historic interest and are identified as non-designated heritage assets.

1. Village Hall	
	<p>Address: The Street</p> <p>Significance: Aesthetic, historical and community value</p> <p>Asset type: Building</p> <p>Description of local significance: The Village Hall was originally the Village School and funded along with a separate house for a school mistress by bequest from a local church minister. The main school building dates from the mid 19th century but ceased use as such in the 1930s, other than during the Second World War when it was reopened to help support evacuee children.</p> <p>Since then, it has served as a Village Hall and important social hub for the village. Architecturally of note are the traditional Hertfordshire flint SE wall and the external clock which requires regular hand winding. Photographs of the front of the hall are regularly used in both District and County Council publicity.</p>

2. Village Bus Shelter	
	<p>Address: The Street (outside the Village Hall)</p> <p>Significance: Aesthetic, historical and community value</p> <p>Asset type: Outdoor structure</p> <p>Description of local significance: Wooden Structure with internal bench seating and peaked shingle roofing. Built in 1960s and repaired in the 1990s by community effort. It provides shelter for walkers etc. in inclement weather. Although there are no scheduled bus services, it remains a pick-up point for the school bus, and is currently a</p>


	designated stop for the HertsLynx on-demand bus pilot scheme.
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3. Well Pond Structure	
	<p>Address: Just off the Street to the south of the village</p> <p>Significance: Aesthetic, historical and community value</p> <p>Asset type: outdoor structure</p> <p>Description of local significance: The well pond was the main source of water for the village since at least Domesday Book times until the provision of mains water in the mid 20th century and water still flows constantly from the spring all year round. The original date of the brick structure is unknown. It may be mid-Victorian, like many other improvements to the village led by Rev George Robert Tuck. It had fallen into disrepair and was rebuilt during the 1980s as part of a youth training scheme. Its surrounds were a traditional gathering site for villagers.</p>

4. 11 – 13 The Street	
	<p>Address: 11-13 The Street</p> <p>Significance: Aesthetic, historical and community value</p> <p>Asset type: Building (pair of semi-detached cottages)</p> <p>Description of local significance: This pair of mid-Victorian cottages are examples of cottages in traditional Hertfordshire vernacular with key architectural features being the hood mouldings above the windows and doors. A number of original windows enhance the attractive aspect of the cottages and the westerly facing roof features traditional clay peg tiles.</p>

5. Village Pump	
	<p>Address: located on the grass verge, close the boundary between The Wick and the village hall play area.</p> <p>Significance: Aesthetic, historical and community value</p> <p>Asset type: infrastructure/ water pump</p> <p>Description of local significance: Wallington has benefited historically from natural springs and ponds arising from the underlying chalk strata. Before the arrival of mains water in the mid-20th century, this pump, which is situated to the south side of the lower Street adjacent to the playground and the Wick, was the main water source for most of the village. The pump is mentioned in the diaries of George Orwell.</p>

Appendix E - Detail of locally significant views

Number	Description	Photograph
KV1	<p>From The Street, looking north, illustrating its enclosure from buildings rising from behind narrow planted strips and tree growth which produces a tunnel effect.</p> <p>(Photo needed from further down the road, showing Derby Arms Cottage)</p>	

<p>KV2</p>	<p>From the junction of The Street and Kit's Lane, looking south, showing the Grade II listed late 16th century 3 and 5 (1176371). Its retained jettied side elevation on the road provides a historic interest to the area. Manor Farm Great Barn (1176396) is a key part of the farmyard that inspired Orwell's Animal Farm. The two ivy-clad stumps mark the start of the old postmans path, which cuts across Mutcheaps and the Chase Meadoes to KV12.</p>		
<p>KV3</p>	<p>From Kit's Lane, looking east, depicting the hollow way, which defines the street with greenery and margin planting. The chimney stack of the former Plough Public House (1102682) is highly visible in the background.</p>		

<p>KV4</p>	<p>From The Street, looking north, past the Grade II listed late 16th century 3 and 5 (1176371), and the Grade II listed Great Barn at Manor Farm (1176396), a key part of the farmyard associated with Orwell's Animal Farm, toward the junction with Kit's Lane and the former Plough Public House (1102682) in the background. (Photo needed from further down the road, to show view of The Plough between the barn and 3/5 Kit's Lane)</p>	
<p>KV5</p>	<p>From the southern end of The Street, looking north, past non-designated buildings making up the street frontage (2-4, The Street) and Manor Farm, with 3-5, The Street (1176371) visible in the distance through the trees.</p>	

KV6



From south-east of the Grade II* Church of St Mary (1347337), looking toward the church. This view shows the scale of trees, and the sense of enclosure in and around the church which limits views of the building. In the background is the gable of Wallington Chase, the former rectory and some of the numerous trees planted around the house to form the pleasure grounds.



<p>KV7</p>	<p>View along FP44 across “The Park” (significant green space in the Conservation Area Character Statement), between the avenue of trees.</p>		
<p>KV8</p>	<p>View across “The Wick” from The Street towards Manor Farm and Manor Farmhouse.</p>		

<p>KV9</p>	<p>View across open countryside from the Southern end of “The Back” (FP32) looking in an Easterly direction. The footpaths thought to date from at least the medieval period and is a prominent feature of a ‘strip’ village layout.</p>		
<p>KV10</p>	<p>View across open countryside in a South- and Westerly direction from FP47 close to its intersection with the Western end of Church Lane. (Eastern end of the Chiltern Hills)</p>		

<p>KV11</p>	<p>View across “The Warren” towards Quickwood along FP36 towards its junction with FP45 and Bury Wood, encompassing natural ponds and thickets within the “The Warren” field, plus remnants of ancient structures including mounds identified as kilns by renowned archaeologist Tony Rook. (Eastern end of the Chiltern Hills)</p>	
<p>KV12</p>	<p>View across open countryside in a Westerly direction from the intersection of FP47 and FP22 close to the North Western corner of the garden of The Chase. (Eastern end of the Chiltern Hills)</p>	

<p>KV13</p>	<p>View across open countryside in a West and North-Westerly direction from a bend in FP26, alongside the Western edge of the "The Park". (Eastern end of the Chiltern Hills)</p>	
<p>KV14</p>	<p>View across open countryside and the Northern end of The Street from the junction of FP25 and FP26, facing in a North Easterly direction. (From the Eastern end of the Chiltern Hills, looking towards Cambridgeshire)</p>	

KV15

View towards Wallington from Wallington Road from the crest of the hill, showing the ring of trees surrounding the village, so that no houses are visible. (Map 2)



<p>KV16</p>	<p>View towards Wallington from the junction of FP33 with Cat Ditch Road, showing trees and hedges surrounding the village. Only Manor Farmhouse and Bury Farm buildings are visible. At least three types of orchid have been spotted in the bordering set-aside strip.</p>	
<p>KV17</p>	<p>View from FP27 towards Sandon and Redhill, at the highest point – the kissing gate where the footpath passes from New Close Meadow to New Close Field, adjacent to Wallington Bury Farm barns.</p>	

KV18

View from FP27, New Close Meadow, towards the duck pond and village, with Well Pond area of trees to the left, and Mutcheaps Meadow beyond the pond. This view also takes in possible house platforms (to the right), noted by Gill Burlie Letchworth, the archaeologist who supervised the digging of the Roman cemeteries at Baldock.



KV19

View of church and duck pond area across Mutcheaps Meadow from the junction of FP31 and FP22.



KV20

View across Chase Meadow from the junction of FP31 and FP22.



KV21

View towards duck pond area across
Mutcheaps Meadow from St Mary's
Churchyard (church path)



KV22

View from duck pond towards St Mary's
Church (Grade 2 * Listed) across
Mutcheaps Meadow



Appendix F – Detail of Local Green Spaces

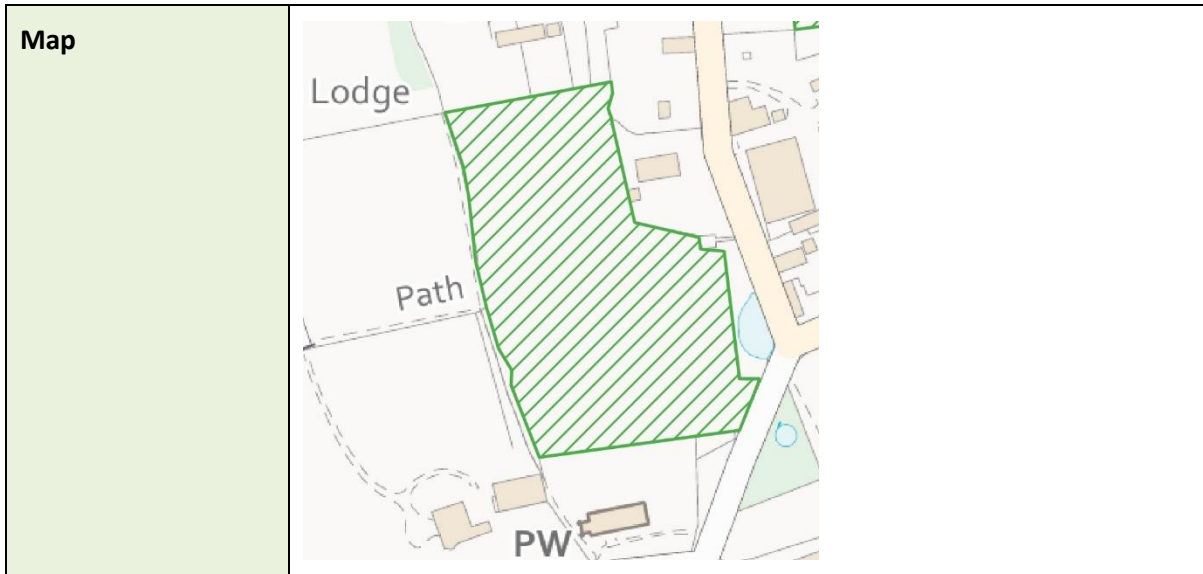
LGS1: Mutcheaps Field

Address and location	Field located to the north of Wallington Churchyard.
Ownership details	Privately owned.
Description and purpose / current use	This is an open field located to the north of Wallington churchyard.
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	Ref: 21/02860/FP - Change of use from agricultural land to residential garden land, submitted 05/10/2021.
Access & proximity including how close to the community it serves	The field sits at the heart of the village, immediately behind the Church, and is speculated to be the location of some of the earliest settlements in the area. A footpath runs parallel to its western boundary.
Demonstrably Special?	<p>Wildlife: There have been sightings of ring ouzels using the field in both spring and autumn as a stopover during migration. Ring ouzels are a Red List species of conservation concern in the UK. Buzzards and barn owls regularly patrol the field. Common shrew and field vole are present based on sightings along the adjoining footpath. There are also rabbits, muntjac and signs of badgers on the adjoining path.</p> <p>Beauty: The view from The Street across the North Eastern corner of the field toward the Church is highly valued and was mentioned by 11 respondents to the Green Spaces survey carried out within the village.</p> <p>Historic: Registered site of possible archaeological interest.</p>
Local in character?	Yes. 0.149 ha.

Photo




Photos show the field and a ring ouzel, taken in April 2020



LGS2: The Chase Meadow



Address and location	Meadow located to the north of the church.
Ownership details	Privately owned.
Description and purpose / current use	Open field to the West of Mutcheaps Field, between the gardens of Wallington Chase and the Lodge.
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves	<p>Adjoining Mutcheaps Field, The Chase Meadow is located on the western edge of the village bordered by three footpaths: two within its eastern and northern borders and one just beyond its western border. As such, it provides important animal corridors and routes for walkers from the centre of the village to the Western fields.</p> <p>There is also a registered footpath that runs diagonally from the entrance to the lodge through the lodge garden and across the meadow to the gate in the SW corner.</p>
Demonstrably Special?	<p>Wildlife: A range of birds roost and nest in the trees on the field's southern edge, including tawny owls, barn owls and red kites. Muntjac deer, badgers, foxes and bats are among the mammals that have been seen using the meadow, and common shrew and voles are present based</p>

	<p>on sightings along the adjoining footpath. There are some significant trees on the site.</p> <p>Beauty/Tranquillity: An unusually tranquil site, bordered by high trees on three sides, the field offers unique views from the heart of the village towards the open fields in the West.</p>
<p>Local in character?</p>	<p>0.77 ha.</p>
<p>Photo</p>	
<p>Map</p>	

LGS3: Village Hall Playground

<p>Address and location</p>	<p>Adjacent to village hall on The Street.</p>
<p>Ownership details</p>	<p>Owned by Wallington Farms. Used by the Wallington Village Hall Committee under a Licence granted by John Wallace on 9th February 1988.</p>
<p>Description and purpose / current use</p>	<p>This is an L-shaped garden area to the north-east of the village hall. It comprises a field, which is mown and used for informal recreational activities. There is also a children’s playground on the site.</p>
<p>Any designations</p>	<p>None.</p>

Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves (in meters)	The village hall and its adjoining garden playground are at the centre of the village and well-used by local residents. The playground provides a much-valued area for families.
Demonstrably Special?	Recreation: The village hall and its garden are the heart of the village community. It is the site of numerous events through the year, including regular pub nights, coffee mornings, local celebrations and the village fete. The childrens' playground equipment is much utilised and was upgraded in 2019 and the garden has been particularly valuable recently as a site of outdoor meetings under Covid restrictions. The views over the adjoining Wick are much prized.
Local in character?	0.11 ha.

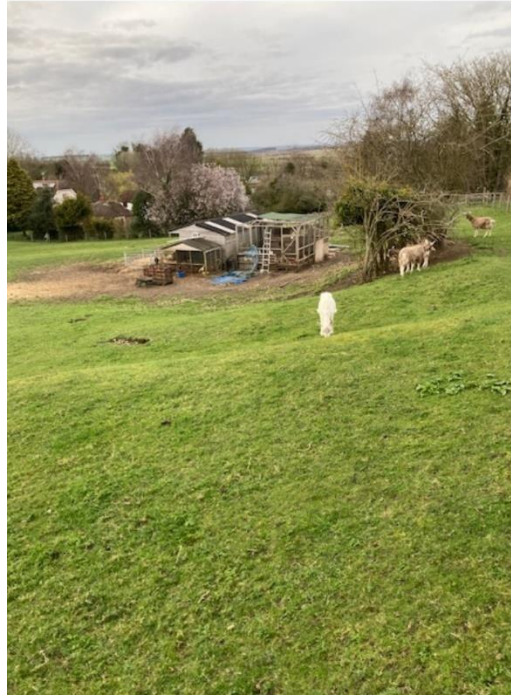
<p>Photo</p>	
<p>Map</p>	

LGS4: The Wick

<p>Address and location</p>	<p>The Wick lies between Manor Farmyard to the south, the Street and the houses along The Street to the west, No28 The Street and gardens to the north, and arable land to the east.</p>
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Ownership details	Wallington Farms
Description and purpose / current use	<p>The Wick is a fenced permanent grassland area of approximately 1 ha (2.47 acres) in size that lies between Manor Farmyard to the south, the Street and the houses along The Street to the west, No28 The Street and gardens to the north, and arable land to the east. It slopes from its eastern side down towards the village so that as one goes along the Street the eye is drawn up its slope across the northern section of the meadow.</p> <p>There is a hedge along its eastern boundary and part of its northern boundary and a variety of trees along the western boundary. There is a gate from the Street into the Wick and also one from Manor Farmyard.</p> <p>In recent years some shelters have been erected by the grazing tenant in which to house her collection of farm animals.</p>
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves	The Wick backs on to some of the houses and the Village Hall that are situated on the eastern side of the Street and forms part of the scoop of the valley in which Wallington sits.
Demonstrably Special?	<p>Wildlife: A great variety of wildlife has been sighted in The Wick by local residents. Mammals include field mice, bats, foxes, badgers, voles and muntjac and roe deer. Frogs and stag beetles have been recorded here. Bird sightings include: buzzards, red kite, herons, owls (barn and tawny), green woodpeckers, jackdaws, swallows, grey wagtails, fieldfare, pheasants, and kestrels.</p> <p>Recreation: It is private land that is let to a village resident who keeps numerous different farm animals in the meadow. The presence of farm animals within the village bounds was reported as an important characteristic of the village by many residents in a recent village survey, and seeing the sheep, goats, chickens etc gives pleasure to some villagers.</p> <p>Beauty: The slope and topography of the field is very attractive and gives a pleasant setting to that part of the village.</p> <p>Tranquillity: The open space right next to the village and village hall and the sound of the farm animals in the distance adds to the rural atmosphere of Wallington.</p>
Local in character?	This is a very small meadow but very close to the centre of the village.

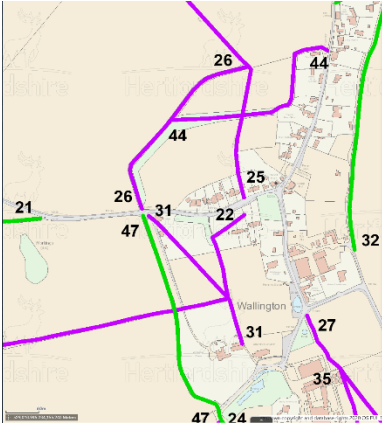
Photo




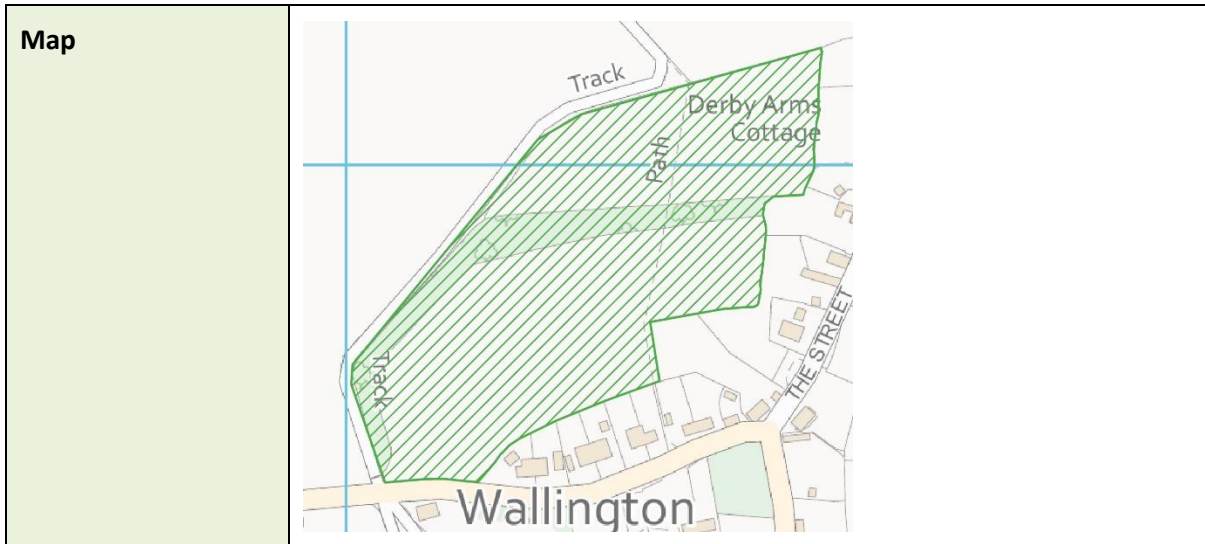


LGS5: The Park

Address and location	Located to the northwest of the village.
Ownership details	Wallington Farms Ltd. Two partners of Wallington Farms Ltd. are active participants in the Neighbourhood Plan Working Group and they support the area to be designated as a significant green space within the plan.
Description and purpose / current use	<p>This is an area of grassland typically used for low-intensity grazing. There are well-established hedges and trees around the area, and it is crossed by several footpaths. FP 25 crosses in a north south direction, FP 44 enters at the kissing gate in the west side of the park and crosses to the east between the lines of beech trees and then exits at the north eastern corner of the field.</p> <p>FP26 skirts around the outside western edge of the Park next to a copse of beech trees along the edge of the Park and further north, a hedge.</p>
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close	The Park borders the back gardens of 8 to 17 Kits Lane and 15 to 25 The Street. It is crossed by footpaths 44 and 25.



<p>to the community it serves (in meters)</p>	
<p>Demonstrably Special?</p>	<p>Wildlife: The Park has not been cultivated for arable farming within living memory. The area is enclosed by established high hedges and mature trees on two sides, screening it from open farmland, and by garden fences and hedges on the remaining two sides. It is managed with a very light touch, used for low-intensity grazing and crops of hay. As a result, the meadow areas of The Park are carpeted with wild flowers at various times of the year and it is a haven for a wide variety of wildlife.</p> <p>Notable insects include native hornets, butterflies (gatekeeper, meadow brown, marbled white), cinnabar and red burnet moths. Mammals seen include rodents – mice, shrews and voles – brown hares, rabbits, and hedgehogs are likely using it to travel between gardens (where they are frequently seen) that back onto The Park. Owls hunt over the meadow, and both tawny and barn owls have in the past nested in some of the trees. Red kites, buzzards and corvids patrol the area. Pheasants are regularly seen.</p> <p>An avenue of mature beech trees crosses the centre of The Park along the line of footpath 44, and other mature trees grow within The Park itself and in its boundary hedge to the West and North West. (See historical information for more information about the project of tree-planting in Wallington).</p> <p>Recreation: There are two footpaths going through The Park, and it is in regular use by walkers. FP 25 crosses in a north south orientation, FP 44 enters at the kissing gate in the west side of The Park and crosses to the east between the lines of beech trees and then exits at the north eastern corner of the field. Also, FP26 skirts around the outside western and north-western edge of The Park next to a copse of beech trees and further north, a hedge – See map below.</p>  <p>Beauty: The side of The Park nearest Kits Lane is recognised as an area of significant green space within the Conservation Area Character Statement, and the avenue of trees is recognised as a significant area of trees. It is an unspoiled area of traditional meadow, increasingly rare in the UK, acting as a buffer between the village and from intensively farmed arable land.</p>

	<p>The avenue of trees running across The Park is a distinctive feature, with a scale and quality rarely seen outside the grounds of stately homes.</p> <p>Tranquillity: The Park is a haven of tranquillity, although extremely close to the centre of the village. It is sheltered from traffic noise and modern agricultural activity, and as such it is an exceptionally peaceful location.</p> <p>Historical: The avenue of beech trees across the park is thought to have been planted in the 1960's by Rev George Robert Tuck as part of a project to screen the village from wind by enclosing the whole settlement in a double ring of trees, and possibly in memory of his son Edward John Tuck, b.1839, d. 1860.</p>
<p>Local in character?</p>	<p>The Park is an enclosed green space adjacent to the village core and is approximately 4.1 ha in size.</p>
<p>Photo</p>	 <p>The photo section contains four images illustrating the park's environment. The top-left image shows a row of tall, mature trees with bare branches against a blue sky. The top-right image shows a wide, grassy field with a line of trees in the background. The bottom-left image shows two horses, one light brown and one white, standing in a field of tall, golden grass. The bottom-right image shows a wide view of a green field with yellow wildflowers in the foreground, with a line of trees and a blue sky with white clouds in the background.</p>



LGS6: Plough Paddock

Address and location	To the west of The Street, opposite the Village Hall.
Ownership details	Wallington Farms
Description and purpose / current use	This is a field opposite the Village Hall. The field is often used by residents for local events.
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves (in meters)	The site is close to the centre of the village, opposite the Village Hall.
Demonstrably Special?	<p>Recreation: The field has occasionally been used for events such as the Village Fete.</p> <p>Beauty: The view from the Street has been favourably commented by residents.</p> <p>Historical: None known but historical map suggests that there may have been a route from the village via this area (no accredited evidence).</p>

	 A historical map of Wallington Parish, showing the town of Wallington, Red Hill, Roe Green, and other locations. The map is titled 'WALLINGTON PARISH' and includes labels for 'Salsbury', 'Wallington', 'Red Hill', 'Roe Green', 'Cloff Hall Bury', 'Shaw Green', 'Julians', 'Adolp', and 'Medealf E'. The map is a detailed engraving with various symbols and text.
<p>Local in character?</p>	<p>The site is fairly small in size. 0.15 ha.</p>
<p>Photo</p>	 A photograph of a rural landscape. In the foreground, there is a dirt path leading to a wooden fence. Behind the fence is a grassy field with several large, leafless trees. In the background, a white car is parked on the right side. The sky is overcast.

	
<p>Map</p>	

LGS7: St Mary's Wallington Churchyard


<p>Address and location</p>	<p>Located in the southern part of the village.</p>
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Ownership details	Diocese of St. Albans
Description and purpose / current use	This is the churchyard surrounding St. Mary's Church Wallington. The churchyard area in front of the church is used for the annual Village Fete, an important community and fundraising event in the village's annual calendar.
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None, but the Diocese or PCC would want the right to add church related facilities in future e.g. mower storage or toilets etc. This is not considered to be out of keeping with the LGS designation.
Access & proximity including how close to the community it serves (in meters)	St Mary's churchyard sits at the south west of the village and has been part of village life for centuries. The Hertfordshire Way runs past the churchyard and there are public footpaths through the churchyard too.
Demonstrably Special?	<p>Wildlife: The church and churchyard support a variety of bird life, including spotted flycatchers, and there are also bats roosting in the church. Spotted flycatchers are summer migrants and are red listed on the UK government's list of birds of conservation concern [current list, updated Jan 2022]).</p> <p>Recreation: Walkers visit the church which is kept open for visitors and there is a bench in the churchyard for visitors to use.</p> <p>Beauty: The area reflects the changing seasons as it is surrounded by deciduous trees and there are snowdrops, daffodils, cowslips and wildflowers that are encouraged to thrive in the grassy area.</p> <p>Tranquillity: The churchyard is an area of natural beauty and peace open to visitors all year round.</p> <p>Historical: St Mary's church, built during the 14th and 15th centuries, is an important historic monument in the life of the village and is a protected building (grade II* listed). Eric Blair (George Orwell) was married in the church.</p>
Local in character?	Yes.

<p>Photo</p>	
<p>Map</p>	

LGS8: Kitt's Piece

<p>Address and location</p>	<p>Located in the centre of the village on the corner of The Street and Kit's Lane.</p>
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Ownership details	Leased by Rushden and Wallington Parish Council from North Hertfordshire District Council.
Description and purpose / current use	Kitt's Piece is a small grass and wooded area to the south side of Kits Lane and adjacent to the Kits Lane and The Street road junction. Les Arbres and No.1 Kits Lane gardens bound it to the south and west respectively. There are a variety of trees, primarily deciduous, mature with newer saplings planted to maintain and replenish the area.
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves (in meters)	Kitt's Piece is at the main junction in the core of the village at the confluence of the upper and lower Street and Kits Lane. It is also the start of Postman's Path footpath which was a main pedestrian route from the lower village to the church.
Demonstrably Special?	<p>Wildlife: Muntjac and fallow deer use the land as part of a wildlife corridor through the village. Tawny Owls are seen and heard, and the dead branches on one of the trees has provided a regular perching spot for spotted flycatchers nesting nearby. Evidence of fox and badger activity is apparent.</p> <p>Recreation: The grass bank is occasionally used by walkers and other visitors</p> <p>Historical: The writer George Orwell used to keep goats on the land in the 1930s.</p> 
Local in character?	Small. 0.11 ha.
Photo	

	 <p>The top photograph shows a grassy area in the foreground with a dense line of trees and shrubs in the background under a blue sky with light clouds. The bottom photograph shows a similar scene from a slightly different angle, with a fence or barrier visible in the lower foreground.</p>
<p>Map</p>	 <p>The map shows a street layout with a road labeled 'THE STREET' running diagonally. A green hatched area is highlighted on the map, indicating a specific location. The word 'gton' is partially visible at the bottom left of the map.</p>

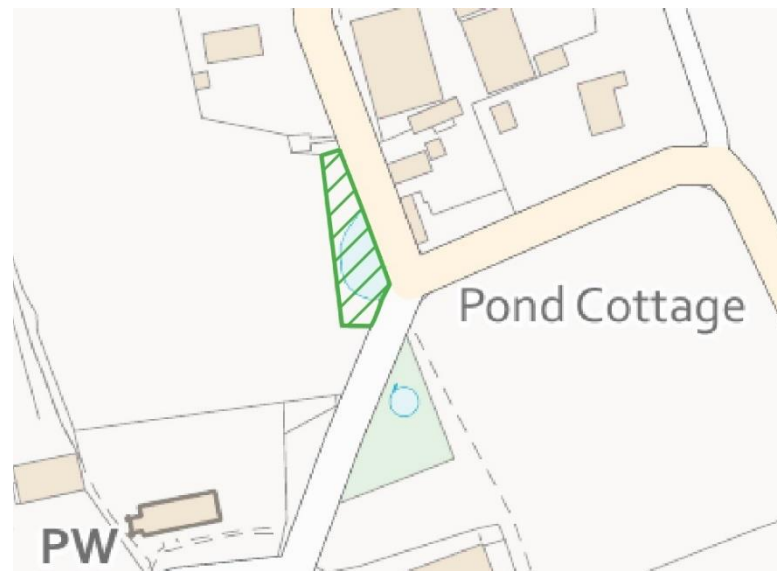
LGS9: Wallington Village Pond

Address and location	Located on the western side of The Street in the southern part of the village.
Ownership details	Rushden and Wallington Parish Council
Description and purpose / current use	This is the village pond and its surrounding area, adjacent to The Street.
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves	The village pond is in the centre of the village and adjacent to the through road (The Street) that passes through the village. The Hertfordshire Way and Icknield Way pass by the Pond which is fed from the Well Pond at the top of the hill and in turn feeds the stream that runs down through the village of Wallington (and is part of the history of the village). There is also a grassy bank which is part of the area under which the stream flows through a pipe.
Demonstrably Special?	<p>Wildlife: The pond supports a variety of bird life including nesting ducks, moorhens and grey wagtails, and also has visiting herons and spotted flycatchers. The pond attracts a variety of water creatures including frogs, sticklebacks and dragonflies.</p> <p>Recreation: The pond offers a green space adjacent to the road and can be used by walkers as there is no pavement.</p> <p>Beauty: The area reflects the changing seasons as it is surrounded by deciduous trees and is maintained by the local villagers.</p> <p>Historical: The Village pond was an important link in the water supply that runs from the source (Well Pond at the top of the village) down The Street.</p>
Local in character?	Yes, the pond is small in size and an integral feature of the village.

Photo



Map

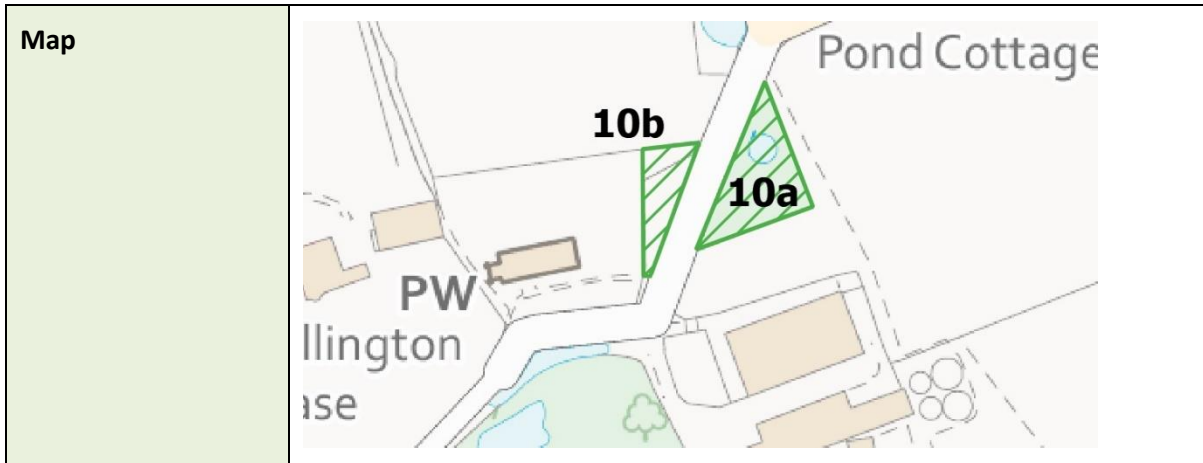


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LGS10: The Well Pond and surrounding area, including the Church bankside opposite


Address and location	East of St Mary's Church.
Ownership details	Well Pond: Belongs to Wallington Village (common ownership owing to its historical functionality). Bankside: the lane alongside the bank, which leads to the church, is maintained by Hertfordshire County Council, but ownership of the bankside is unclear.
Description and purpose / current use	<p>The well pond area is a sheltered green space at the southeast end of the village. The area is enclosed by fencing and has a number of mature trees, a path winding through the area, wooden benches and a picnic table. The well itself was first enclosed by brickwork in Victorian times, although the spring it houses was significant to the village since first settlement, providing a reliable supply of fresh, clear water. Before the arrival of mains water, water from the spring was piped downhill to a pump by what is now the village hall.</p> <p>The bankside that lies opposite the well pond area, just across the lane to the church, is a site of mature trees and wildflowers such as snowdrops and primroses. The area is adjacent to the east side of the churchyard and is noted as a significant area of trees in the Wallington Conservation Area Character Statement. The bank itself is thought to enclose medieval relics of earlier settlement within.</p>
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves	The well pond and surrounding area is located within the village, lying close to the village pond and St Mary's Church.
Demonstrably Special?	Wildlife: The well pond is used during the summer months by spotted flycatchers that may be seen flitting out from their perches among the trees close to the well to catch the insects flying over the water (spotted flycatchers are summer migrants and are red listed on the government's list of birds of conservation concern [current list, updated Jan 2022]). Bats also frequent this area to catch moths and other night-flying insects during spring through autumn. In the late winter, the site is notable for its bed of yellow winter aconites and clumps of snowdrops.

	<p>Recreation: It is a tranquil place that is used for recreation and as a resting spot for walkers and cyclists passing through the village. There is a seating/picnic area within the space.</p> <p>Beauty: With its stand of mature trees and wildflowers, the area is an attractive spot.</p> <p>Tranquillity: The leafiness of its set-back enclosed location, together with the sound of the spring water trickling down the bank and the birdsong from the trees, create a place of tranquillity.</p> <p>Historical: The location of the spring that made Wallington a site suitable for settlement: wooded and well sheltered from westerly gales, with a never-failing supply of fresh water from the spring. Some traces of historical settlement have been found in the bankside.</p>
<p>Local in character?</p>	<p>0.071 ha.</p>
<p>Photo</p>	<p>Well pond:</p>  <p>Bankside:</p> 



LGS11: Carter’s/Parsons Pond

Address and location	South of the Church.
Ownership details	Wallington village (common ownership owing to its historical functionality)
Description and purpose / current use	<p>Carter’s pond lies opposite the main entrance gate and boundary wall of St Mary’s Church, on the other side of Church Lane (see Figure 1). It is also known as Parson’s pond because of its proximity to the church (see map below, Figure 2). It is a long narrow pond, typical of cart ponds built during the 18th and 19th centuries, which were designed with solid stone/brick bases to allow a horse-pulled cart to be drawn through from one end of the pond to the other. This process aided wheel tightening, cleaning and preventing wheels from shrinking or warping during prolonged dry weather. The drainage for Carters’ pond is by pipe underneath the Churchyard, and the curb edging the pond is designed with three holes in the brickwork to allow water to run off Church Lane into the Pond. These holes need to be cleared regularly to stop flooding and puddling on Church Lane.</p> <p>Regular pond clearing of and maintenance of drainage is organised and carried out voluntarily by village residents.</p>
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.

<p>Access & proximity including how close to the community it serves (in meters)</p>	<p>Carter's pond is located within the village, lying close St Mary's Church.</p>
<p>Demonstrably Special?</p>	<p>Wildlife: Carter's Pond is used by mallard ducks and moorhens as a sheltered spot to rest and feed in. Bats also frequent the area to catch moths and other flying insects over the water, as do spotted flycatchers during the summer months. The site is characterised by its flag irises and rushes. Dragonflies and damselflies are also present.</p> <p>Beauty: The display of yellow flag irises is an attractive feature.</p> <p>Tranquillity: The pond contributes to the tranquil setting of St Mary's Church.</p> <p>Historical: As described under 'Description' above, Carter's Pond has historical value as an important asset of the village, its presence reflecting the agricultural history of Wallington.</p>
<p>Local in character?</p>	<p>0.045 ha.</p>
<p>Photo</p>	



LGS12: The Spinney

Address and location	Southern side of Kit’s Lane.
Ownership details	The spinney is owned by North Hertfordshire District Council. It is leased by Wallington & Rushden Parish Council.
Description and purpose / current use	<p>The Spinney is a small patch of woodland on the south side of Kits Lane, at the start of a footpath that leads from Kits Lane to St Mary’s churchyard. The Spinney is bound by the boundary fencing of the Lodge garden that runs alongside the path, Kits Lane, and the garden of number 7 Kits Lane.</p> <p>The patch of woodland contains mature trees and some tree saplings planted by volunteers to help rejuvenate the spinney after several trees had to be cut down for safety reasons due to storm damage or age/disease. The new saplings are being monitored and cared for by village residents.</p>
Any designations	None.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves (in meters)	The Spinney is located close to the village and accessed by local residents.
Demonstrably Special?	Wildlife: The spinney is frequented by tawny owls, which may nest within this patch of woodland. Deer (muntjac and fallow), foxes and wood mice and shrews have been seen in the spinney. There is evidence of badger activity, and bats are seen flying around the trees and above the footpath on summer evenings. The spinney connects with other green spaces within Wallington and thus is likely part of an important wildlife corridor . The

	<p>dense undergrowth includes various “habitat piles” of fallen and cut branches. There is a carpet of native snowdrops in winter / early spring.</p> <p>Recreation: The spinney has a well-used footpath running through it, which leads to the church and connects with the Hertfordshire Way and the footpaths running through Chase Meadow.</p> <p>Tranquillity: The stand of native deciduous trees together with the ground vegetation lend a sense of calm and shelter.</p>
<p>Local in character?</p>	<p>Yes. 0.018 ha.</p>
<p>Photo</p>	<p>View from Kits Lane:</p>  <p>View from path running through the spinney, showing some of saplings that have been planted as part of ongoing maintenance of the wood. Note, photograph taken during winter:</p> 



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LGS13: The Common

Address and location	Wallington Common is an area of woodland 1 km south of Wallington. OS 100 km grid square TL23.
Ownership details	Owned by the Wallington Common Trust.
Description and purpose / current use	A 4.2 ha area of woodland known as Wallington Common Nature Reserve. Rights on the land are noted by common-land.com as cattle, ponies and pigs. Estovers (6) Turbary (5) Pannage (3) Herbage (3).
Any designations	Designated as a nature reserve by Wallington Common Trust. It is a Local Wildlife Site.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves (in meters)	This area of woodland lies 1 km south of Wallington, between the village and Shaw Green, and is directly linked to the village by a well used bridleway and the Hertfordshire Way.
Demonstrably Special?	Wildlife: As a nature reserve, this patch of previously coppiced woodland provides undisturbed habitats featuring dense thickets and some mature trees. Sparrowhawks, thrushes, wrens, nuthatches and treecreepers have been observed, and the area is frequented by deer. Recreation: The bridleway that runs alongside Wallington Common is a popular and well used path for walkers and horse riders.
Local in character?	Yes.

Photo



Map

